

**MERCERSBURG ACADEMY**  
**HEALTH CENTER PRE-BID CLARIFICATIONS**

**August 22, 2017**

**RESPONSE ISSUED 8/28/17**

1) Specification 329300 - 3 list three Landscape contractors that are approved. Can we get proposals from others?

**Use of additional landscape sub-contractors will require qualifications pre-approval from Mercersburg Academy.**

2) Sheet 2 of the Civil drawings shows to demo sidewalks and steps at the front entrance. Drawing L010 & L020 says it is existing. Please confirm it is to be new.

**Existing sidewalks and steps on the north side of the building are to remain.**

3) The Chilled Water line noted on M100 is shown to extend 5' outside of building with a note to see Civil drawings for continuation. Civil plans don't show CW line. Please clarify?

**Still being coordinated between Civil and Mechanical Engineers. Will send out reply when finalized.**

4) The rustic stone tree well work noted on 1/L032 as well as new sidewalks are located within the fenced tree protection area shown on L010. Please clarify.

**Install tree protection fencing for the duration of the building construction work. Sequence work to install rustic stone tree well work and sidewalk work and the end of the project schedule, when the tree protection fence can be removed.**

5) Civil drawings show concrete where L010 shows Bluestone pavers. Please clarify.

**Bluestone pavers are no longer part of the project.**

6) Civil drawings show no additional bituminous paving, drawing L020 calls for new paving. Please clarify.

**New bituminous paving, grading, and striping required for ADA parking spaces. Please include in the project pricing.**

7) Room Finish Schedule, Hall 111 calls for Vinyl Tile, Finish Key shows existing wood flooring. Please clarify.

**Reply: Hall 111 is existing wood flooring and new wood base. See Renovation Note #2 on A101.**

8) The location of the Domestic Water and Fire Lines are either not shown or located differently on the Civil drawings than shown on the Plumbing plans. Please clarify?

**Still being coordinated between Civil and Mechanical Engineers. Will send out reply when finalized.**

9) Site vs. Landscape Plan Discrepancies:

1. Tree Removal **Follow drawing L010 for tree removal and protection.**

A) Site Plan-2 on east side of building, 1 on west side

B) Landscape – Protect 1 on east side, demo 1 on east side, remove 1 on west side, remove 1 on north.

2. Stone Walkway **Existing stone walkway can remain as shown on drawing L020. Provide minor repair of stone walkway where it meets new concrete sidewalk.**

A) Site- Remove part of walkway

B) Landscape – Leave as is

3. Paving **Remove paving on east side as shown on drawing L010. Re-grade and install new bituminous paving and striping as shown on drawing L020 to provide ADA parking spaces. Please include in project pricing.**

A) Site-Sawcut & remove section on west side

B) Landscape-same as site, plus sawcut and remove section on east side of building

4. Tree Protection

A) Site – None

B) Landscape-As shown on sheet L010, how to install wall & basin material inside fence?? **Install tree protection fencing for the duration of the building construction work. Sequence work to install rustic stone tree well work and sidewalk work and the end of the project schedule, when the tree protection fence can be removed.**

5. Stone Protection Wall & Basin

A) Site – None

B) Landscaping – As shown on L032 **Provide as shown on L032 and L020**

6. Site Lighting

A) Site – None

B) Landscaping – As shown **Provide as shown on L020 and electrical drawings.**

10. Are we to assume that cabinets and top shown in Rooms #124 and #123 are new and are to match the cabinets detailed for Room #122 (See sheet A403)?

**Yes, the cabinetry in Exam 122, 123 & 124 are the same. Enlarged Plan on A403 should read “ENLARGED PLAN – EXAM 122, 123 & 124.”**

11. Something is shown in Storage #106. Are we to assume these are 4 fixed paint grade shelves?

**Provide (4) 16" deep fixed paint grade shelves on each side of the door. Coordinate final heights with owner.**

12. At elevation 41/A405. Is the top plastic laminate or solid surface? Are the shelves above, paint grade, stain grade or plastic laminate?

**Provide solid surface countertop and back splash. Upper shelves to be fixed paint grade shelves.**

13. Nothing seems to be shown in Storage #130, is this correct?

**Yes, this closet is for medical mobility equipment – i.e. crutches, walkers, canes, etc.**

14. Nothing is shown for elevation for the Storages. What do you require for them? Single shelf, Multi shelves, adjustable shelves, fixed shelves, and etc.?

**Reply:**

- **See responses to questions 11, 12 & 13 this sheet. (Storage 106, 130 & Lab 121)**
- **Storage 116 provide a 14" deep fixed paint grade shelf at 5'-0" above finish floor.**
- **Storage 127 provide (4) 16" deep fixed paint grade shelves. Coordinate final heights with owner.**
- **All other storage is casework and shelves are indicated as dashed lines on the elevations. The specifications state that the shelves are to be adjustable.**

**MERCERSBURG ACADEMY**  
**HEALTH CENTER PRE-BID CLARIFICATIONS**

**August 24, 2017**

**RESPONSE ISSUED 8/28/17**

1. In Storage Room #106 there appears to possibly be shelving to the left and right of the door. Please confirm if shelving is required and how many tiers are required.

**Provide (4) 16" deep fixed paint grade shelves on each side of the door. Coordinate final heights with owner.**

2. Renovation note #1 calls for a new sill skirt board with a profile to match the existing. Do you have, or can you get, a picture of the existing skirt board so we can see what the profile looks like?

**Provide 1x4 wood skirt board with eased edges. See below.**



3. Detail A/A101 is calling out some 1x wood trim, at the area where the interior GWB partition meets the mullion and at the jambs. Please confirm that this detail applies to all of the windows, and if a piece of 1x wood trim is required at the center mullion if there is no interior GWB partition.

All the windows are being installed in a masonry opening. A wood framework will need to be provide to fit the standard size windows into the opening. There isn't a common thickness for the wood frame, it will depend on the opening size – Field verify. On the exterior the EIFS system will cover the perimeter wood framing – not the joint between the two windows. The joint between the windows will need to be covered with an aluminum wrapped 1x on the exterior and a 1x painted on the interior. On the interior perimeter of the window, the gypsum wall board will wrap back to the wood framework. The remaining exposed framework will need to be covered with a 1x (painted). See window plans on A602. See photo of existing condition below.



4. The Schedule and Finish Plan on A601 do not match in the following areas, please clarify.
  - 111 Hall, Schedule VCT, Plan Ext Wood. **Hall 111 is existing wood flooring and new wood base. See Renovation Note #2 on A101.**
  - 116 Storage, Schedule VCT, Plan Ext Wood. **Storage 116 is existing wood flooring and base. See Renovation Note #2 on A101.**
  - 118 Reception, Schedule VCT, Plan CPT Tile. **Reception 118 is carpet flooring.**
  
5. Duct spec says exposed ductwork is to be insulated with board insulation. Is all the ductwork in the second floor mechanical space to be considered exposed? Putting board on this ductwork instead of fiberglass wrap is going to add a lot to the job cost. **The ductwork in the attic shall be fiberglass wrap, not board insulation.**



**MERCERSBURG ACADEMY**  
**HEALTH CENTER PRE-BID CLARIFICATIONS**

**August 28, 2017**

**RESPONSE ISSUED 8/29/17**

1. There is conflicting info regarding the new feeder to the new MDP. The one line drawing (E601) seems to indicate it will be provided and installed by others but the note on E201 indicates the EC will install the feeder. Please advise.

**Owner responsible to furnish and install the secondary wiring from the transformer to panel MDP. Building EC to provide conduit as noted on the drawings to 5'-0" outside the building. This will be connected to Owner provided conduit coming from the transformer. Termination at panel MDP to be by Owner, testing to be by Owner.**

2. Please confirm that the tel/data and TV wiring and equipment will be provided and installed by others.

**Owner to furnish and install tele/data and TV wiring.**

3. Please confirm that all fire alarm and nurse call wiring is to be installed in a complete conduit system.

**Nurse Call and Fire Alarm cabling does not need to be installed in a complete conduit system.**

4. Does the owner have a preferred nurse call vendor for their campus?

**MA does not have a preferred nurse call vendor.**

5. Does the owner have a preferred fire alarm vendor for their campus?

**Fire Alarm Vendor is Tele-Plus, Hagerstown, MD.**

6. There is no security system spec in the documents but there are several card readers and a security panel shown on the drawings. Will the EC be responsible for providing and installing a security system?

**Owner to furnish and install security system. Glessner Security (Hagerstown, MD) is the vendor. EC responsible for boxes, conduit stubs, pull strings and power to head end equipment and door locking hardware power supplies. EC to coordinate with vendor.**

7. Does the owner have a preferred security vendor for their campus?

**See response #6.**

8. Spec section 064100, 1.01 A.1 calls out specially fabricated units. This typically refers to custom millwork. We sell and install Commercial Casework as manufactured by Stevens Industries. They are a national panel, cabinet and millwork manufacturer. They are certified to AWI premium standards. I have attached some information indicating their standard construction details. Will this be acceptable product for this project?

**Contractor must meet specifications requirements. Any substitutions will be reviewed during submittal process.**

9. As part of our standard there are a few minor exceptions to construction we utilize and recommend for this project. Please review and advise acceptance.
- a. Paragraph 2.08A calls for side mounted metal shelf standards for adjustable shelves. We use a 32MM Standard drill pattern with 2-position anti-tip clear polycarbonate shelf clips. This provides much more stability and durability.

**Adjustable shelf standards are to meet specification requirements.**

- b. 2.08B calls for U shaped drawer pulls. Designer can select from our standard options.

**U-shaped pulls is the selected style.**

- c. 2.08C calls for cabinet locks, but don't appear to be shown on plans. Are they required? Do not see a security desk. Our standard lock 6-tumbler dead bolt locking system can be provided.

**There is no security desk cabinet, please disregard this sentence in the specification. Bid to include 10 cabinet locks. Owner to designate locations during submittal approval.**

- d. 2.08E indicates concealed hinges. We can provide this type of hinge, but strongly recommend the heavy duty 5-Knuckle hinge. This is more durable for use and abuse and requires no adjustment. Concealed hinges will need to be adjusted periodically by



maintenance staff to maintain door alignment. No difference in cost for either type hinge from us. Advise if 5K is acceptable.

**Provide concealed hinges as specified.**

10. Drawings indicate Plastic laminate on wall splash running full width of many elevations, between the solid surface backslash and the bottom of wall cabinets. Also indicates a metal edge trim. This laminate is shown to adhere directly to the gypsum wall board. The laminate manufacturers do not recommend this type of application as the laminate will conform to any stress or imperfections in wall surface. Also cut-outs for electrical outlets or fixtures will tend to crack. We will provide a ½" thick panel with laminate of color selected factory applied to surface. We suggest a factory finish PVC edge and exposed ends. We could also provide a Wilsonart self-edge laminate form the decorative metal line if that look is preferred. This would also be factory applied and would be a bit higher cost. Panels would run to top of solid surface backslash or could go behind. Please advise if one of these options is acceptable.

**At all plastic laminate backsplash locations contractors are to substitute 5/8" MDF board in place of gypsum board to provide a better substrate for the plastic laminate to be adhered to. Metal edge strips are to be used on exposed edges of plastic laminate.**

11. Who is responsible for FA/DATA/TV/Security cabling and terminations?

**Fire alarm is part of EC scope of work including cabling and terminations. See response #5 above. Data, TV and security cabling and terminations to be provided by Owner.**

12. Is there any lighting work to be done in the basement?

**Refer to E001 for work associated with basement lighting.**

13. We would like to request to substitute the Integrity Windows by Marvin Windows as an approved equal to the Andersen 400 series, please confirm or deny our request.

**Marvin Integrity is not an equal substitution, provide specified products. If contractor wants to include an alternate bid deduct price as part of their final bid submission to Mercersburg Academy showing the potential cost savings that would be acceptable. If this is done Mercersburg Academy can decide if they want to use the Marvin window in place of the specified products.**

14. 2.01 A – “Annunciation of smoke detectors and door contacts.” Please elaborate as to how many, where they will be located and what will they annunciate.

**Clarify in your bid what is being provided or not being provided in regard to these systems.**

15. 2.01 G – Since the spec calls for a tone/visual system it is our interpretation that this requirement is not applicable unless this is going to display text only as the system will have no voice capabilities. Please define.

**Clarify in your bid what is being provided or not being provided in regard to these systems.**

16. 2.01 B Question 8 - Indicates you would like a telephone interface on a tone/visual system. However, as previously stated, tone/visual systems have no voice, however it is possible for us to display a text only message along with an audible alert/ring to annunciate the incoming alarm. Please clarify.

**Clarify in your bid what is being provided or not being provided in regard to these systems.**

17. Please provide the following missing specifications:

**See accompanying specification section for required information.**

- a. Steam piping systems including insulation
  - b. Steam flash tank
  - c. Duplex condensate receiver
  - d. Underground pipe and insulation to DOAS unit
  - e. Underground Chilled water piping
18. Is the ductwork in the mechanical space above the first floor to be considered exposed?  
**Ductwork in mechanical space is NOT to be considered exposed.**

19. **Additional electrical revision:**

**Mechanical drawings indicate a duplex condensate pump system located in the basement near the sump pit. On Drawing E201 – add note 11 referenced in the area near the sump pump that read as follows: “Provide manual starting switch as disconnecting means for duplex condensate pump system. Connect duplex condensate pump system to circuit A-27 via manual motor starting switch with (2)#12, (1)#12G in ¾” conduit.”**

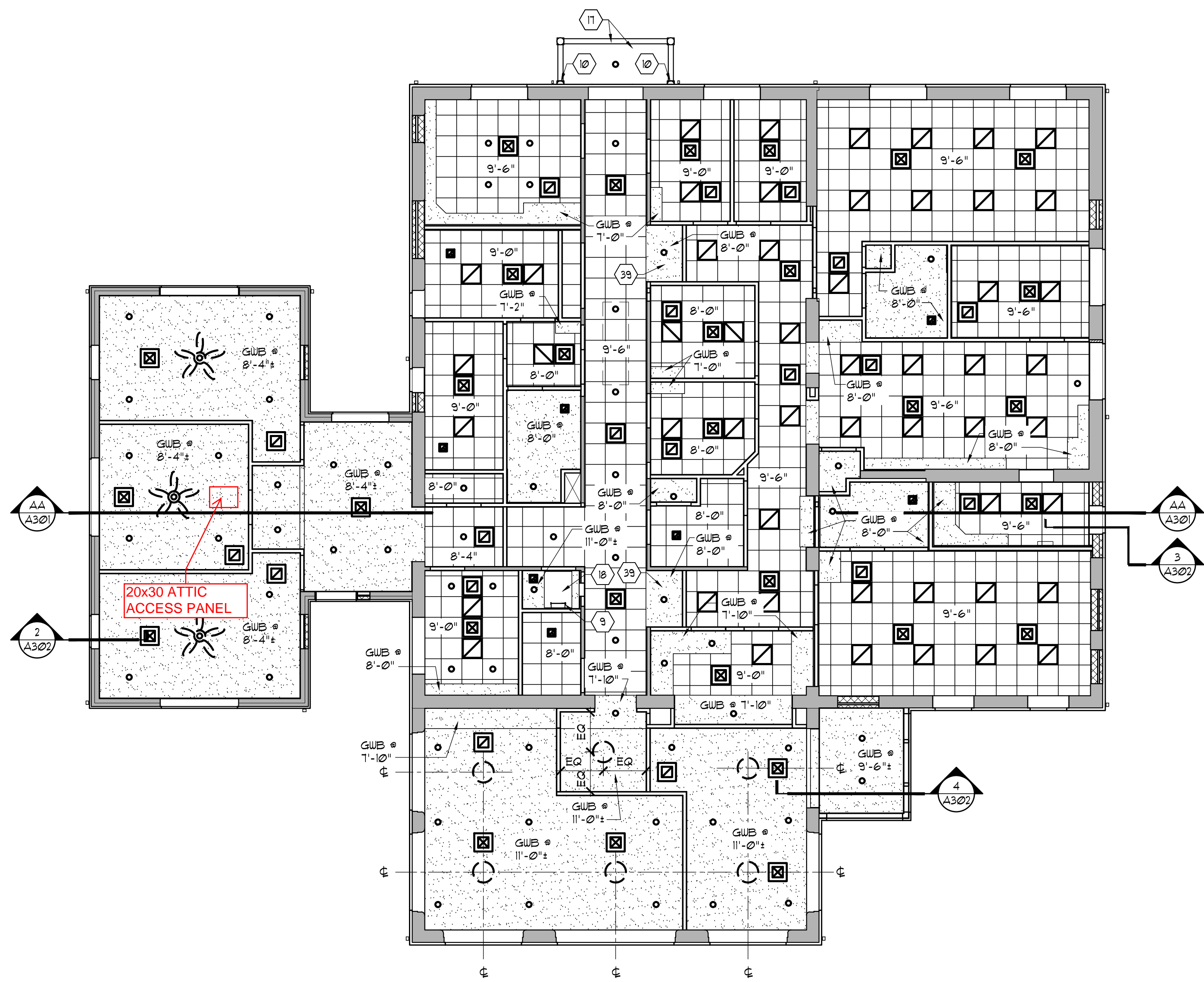
**BID DATE EXTENSION: Health Center Renovation bid date has been extended until September 6, 2017 at 3pm.**

GENERAL RENOVATION NOTES:	
1.	VERIFY DIMENSIONS IN FIELD.
2.	DIMENSIONS ON FLOOR PLANS ARE FROM FINISH FACE OF EXISTING PARTITIONS, FACE OF CMU OR FACE OF NEW STEEL OR WOOD STUDS.
3.	PREPARE WOOD FLOORING FOR NEW FLOOR FINISHES TO TOLERANCES RECOMMENDED BY FLOOR FINISH MANUFACTURERS. SEE SPECIFICATIONS.

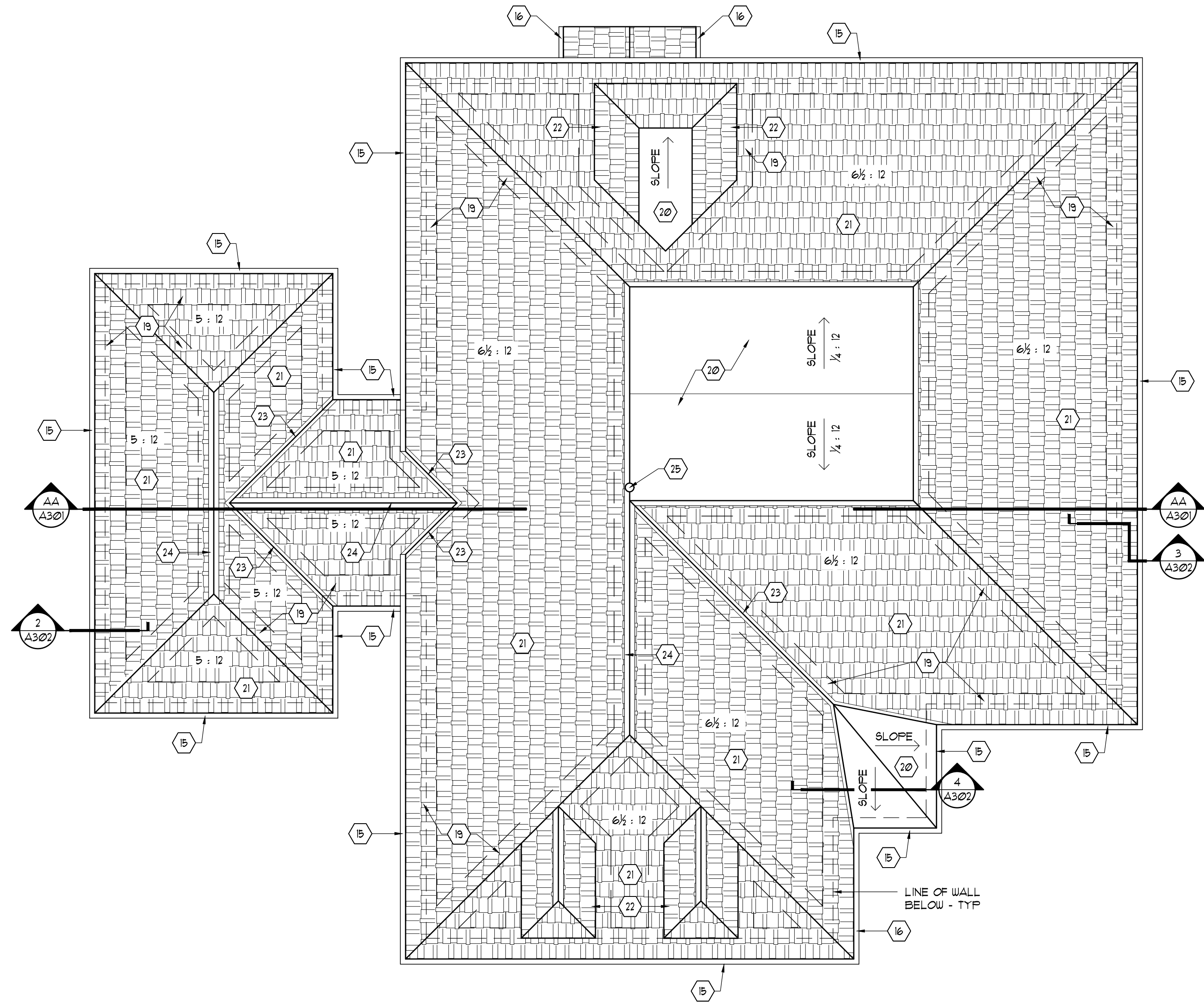
RENOVATION NOTES CONTINUED:	
18	RAIN & ICE SHIELD AT EAVES, HIPPS AND VALLEYS. 3'-0" MIN UP EAVES.
20	EPDM ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
21	ARCHITECTURAL ASPHALT SHINGLES - TYPICAL. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

RENOVATION NOTES:	
9	METAL ACCESS LADDER TO ATTIC. SEE SPEC'S FOR ADDITIONAL INFORMATION.
10	RELOCATE WOOD HALF COLUMNS TO FACE OF EIFS.
15	6" ALUMINUM GUTTER TO 3" x 4" ALUMINUM DOWNSPOUT, TYPICAL.
16	5" ALUMINUM GUTTER TO 2" x 3" ALUMINUM DOWNSPOUT AT EXISTING PORCH ROOF ONLY.
11	PREP, PRIME AND PAINT WOOD COLUMNS, WOOD TRIM AND WOOD SURFACE AT EXISTING PORCH.
18	2'-8" x 3'-6" INSULATED HATCH TO ATTIC. SEE DETAIL SHEET A103.

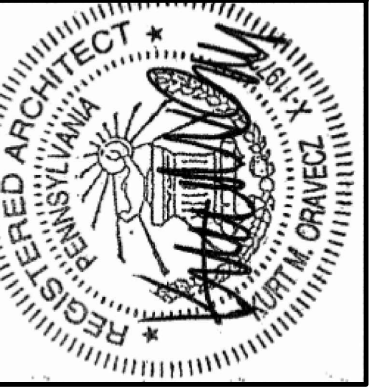
22	METAL FLASHING AT DORMERS - TYPICAL.
23	OPEN METAL VALLEY - TYPICAL.
24	ASPHALT SHINGLE COVERED CONTINUOUS RIDGE VENT - TYPICAL.
25	LIGHTNING PROTECTION - RE-INSTALLED. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
39	ACCENT PAINT COLOR AT SOFFIT.



**REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



426 SOUTH THIRD STREET  
SUITE 101  
LEMOYNE, PA  
(717) 820-2282  
(717) 820-2284 FAX

**KPS**  
**DESIGN STUDIO, INC.**  
ARCHITECTURE + INTERIOR DESIGN

MERCERSBURG ACADEMY  
HEALTH CENTER  
MCFARLAND ROAD  
MONTGOMERY TOWNSHIP, FRANKLIN COUNTY, PA

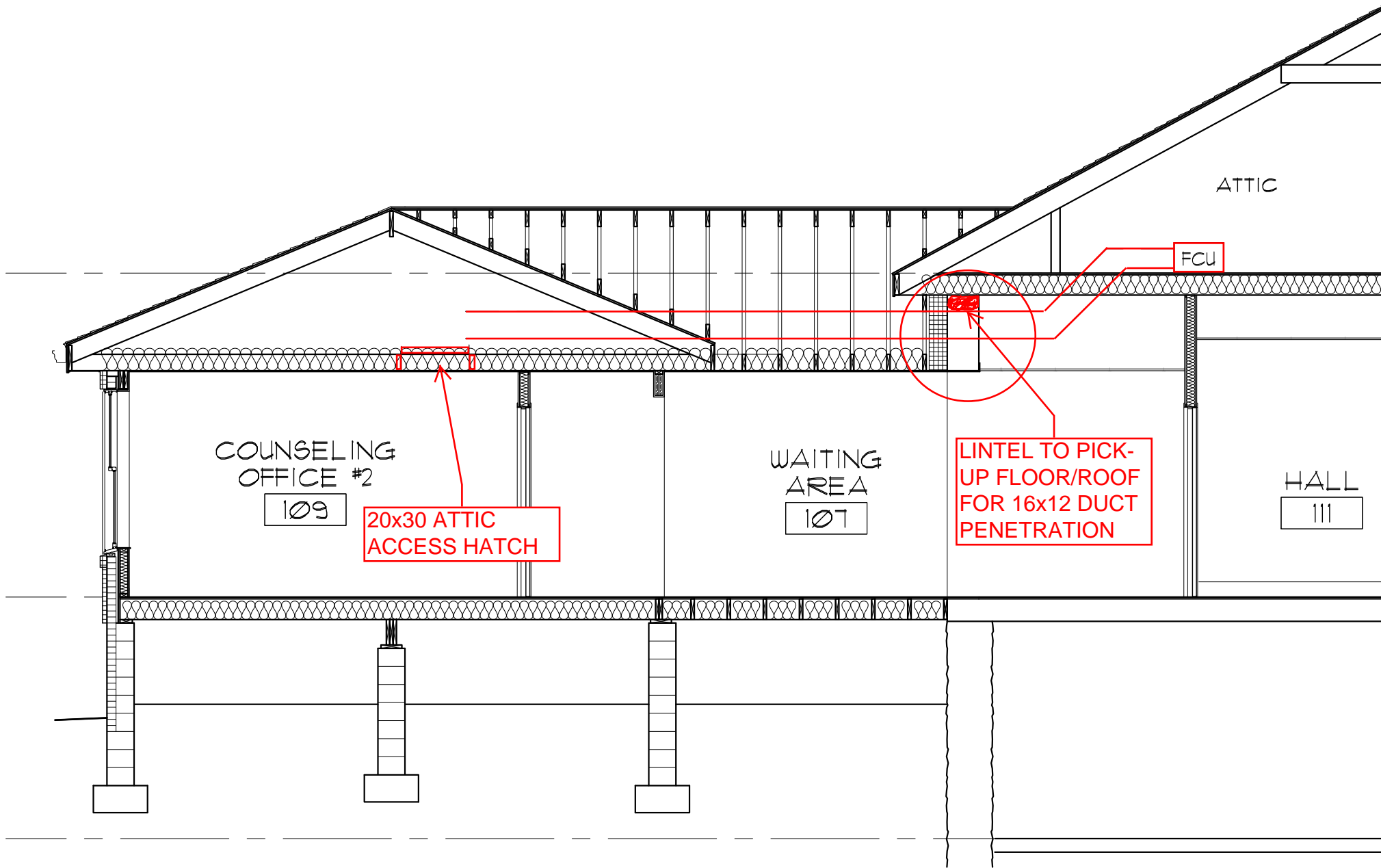
**REFLECTED CEILING PLAN & ROOF PLAN**

Reproduction of the material herein or substantial use without written permission of KPS Design Studio, Inc., violates the Copyright Laws of the United States and will be subject to legal prosecution. Copyright: 2017

DATE : 08/10/17  
SCALE : AS NOTED  
JOB NO. : 343-14

SHEET  
**A102**

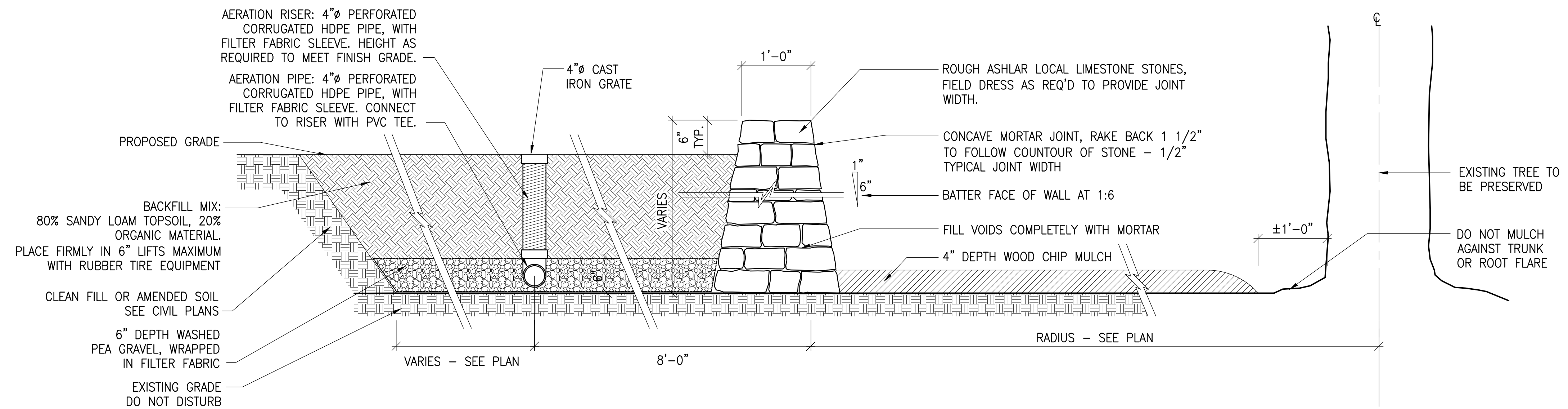
BID SET



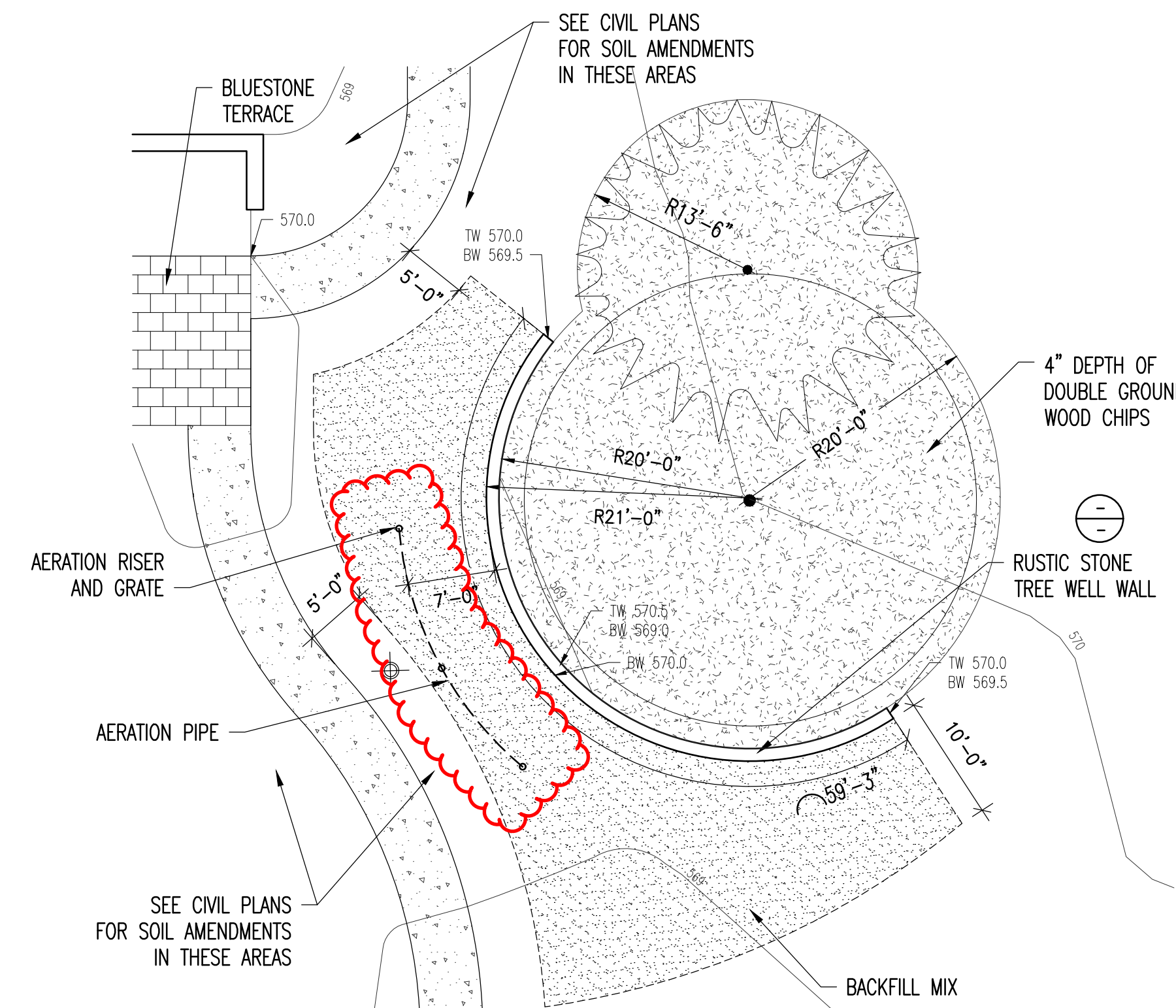
## CHILLED WATER PUMP CONTROL

1. THE CHILLED WATER PLANT IS LOCATED IN A REMOTE BUILDING THAT IS NOT PART OF THIS CONTRACT.
2. THE PUMPING SYSTEM SHALL BE ENERGIZED AND OPERATE CONTINUOUSLY BASED ON OUTDOOR TEMPERATURE SET POINT (ADJUSTABLE) AND WHEN THE CENTRAL PLANT IS PRODUCING CHILLED WATER.
3. THE CHILLED WATER PUMP SHALL BE ENERGIZED BY THE EMS THROUGH THE VFD TO MODULATE THE SPEED OF THE PUMP. ON AN INPUT FROM MULTIPLE DIFFERENTIAL PRESSURE SENSORS, DPS, LOCATED APPROXIMATELY 2/3 OF THE WAY DOWN THE SUPPLY MAIN, THE VARIABLE FREQUENCY DRIVE SHALL MODULATE THE SPEED OF THE PUMP TO MAINTAIN THE POLLED LOOP DIFFERENTIAL PRESSURE SET POINT (ADJUSTABLE). IF THE PUMPS ASSOCIATED FLOW SWITCH FS, SENSES NO FLOW FROM IT'S RESPECTIVE PUMP WHEN THAT PUMP IS CALLED TO RUN, AN ALARM CONDITION SHALL BE GENERATED.





**1 RUBBLE STONE TREE PROTECTION WALL AND FILL**  
SCALE: 1" = 1'-0"



**2 STONE TREE WELL PLAN**  
SCALE: 1" = 10'-0"  
DETAIL REVISED - 08/31/2017

S+

BRIAN J. STEPHENSON + CO. LLC

Landscape Architecture

3520 Quesada Street, NW  
Washington, DC 20015  
202.276.6522

Seal

Revisions

Project

Mercersburg Academy  
Health Center

Owner

Mercersburg Academy  
300 E. Seminary Street  
Mercersburg, PA 17236

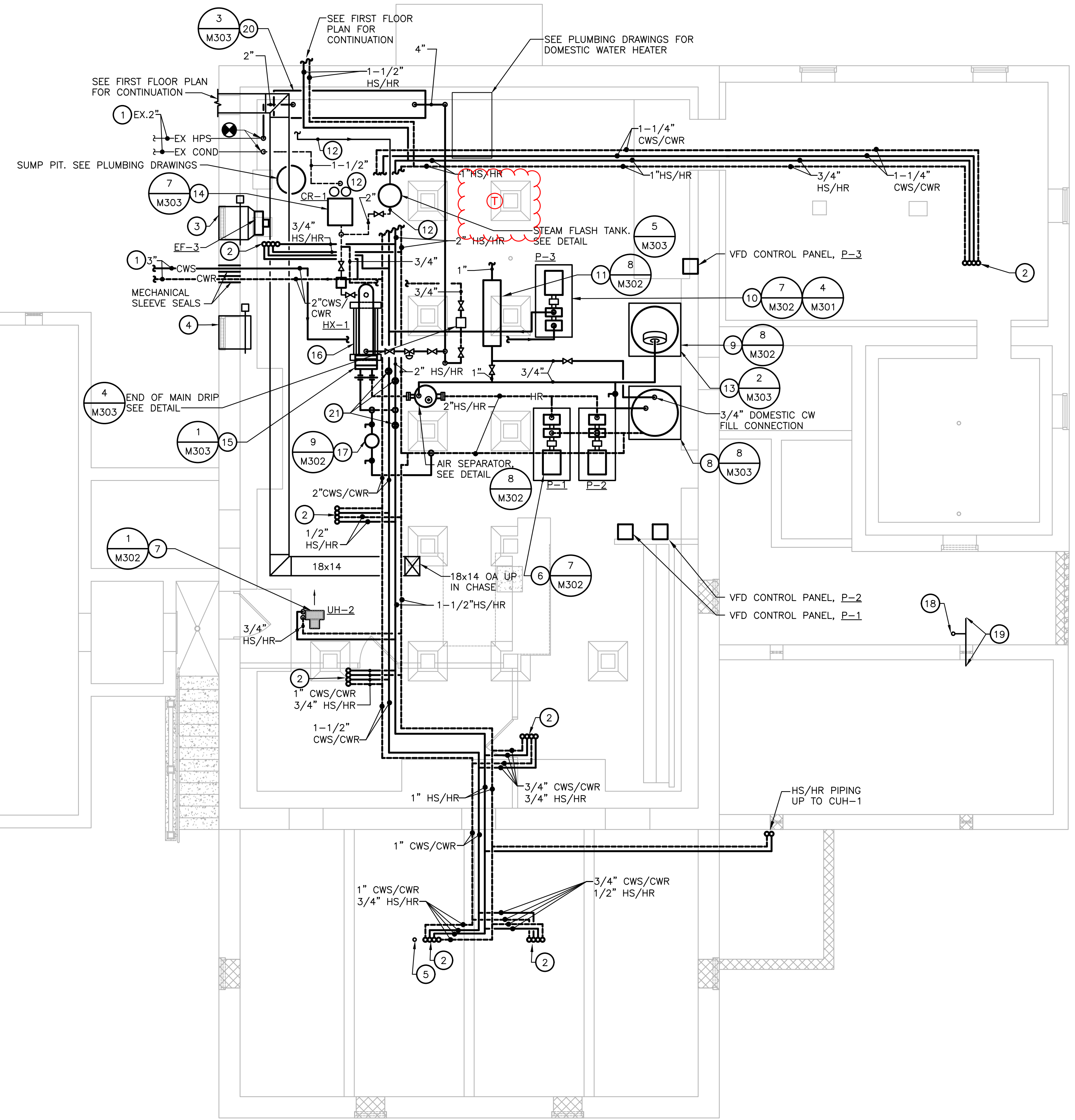
Drawing Title

SITE DETAILS

Drawing No.

L032

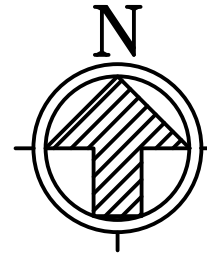
Date: August 4, 2017



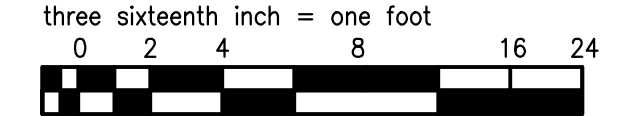
**REFERENCED NOTES:**

- ① PIPING TO 5' OUTSIDE OF BUILDING. SEE CIVIL DRAWINGS FOR CONTINUATION.
- ② CHW/CHR & HS/HR PIPING UP.
- ③ TRANSITION DUCTWORK TO FULL SIZE OF WINDOW OPENING AND PROVIDE MOD. PROVIDE INSECT SCREEN AT TERMINATION.
- ④ LOUVER, SIZED FOR FULL SIZE OF OPENING. PROVIDE STUB DUCT WITH A MOD AND INSECT SCREEN. MOD TIED TO EF-3.
- ⑤ 3" EA UP INTO WALL CAVITY ABOVE. EA DUCT SHALL TERMINATE BELOW TOP OF CRAWL SPACE WITH BIRD SCREEN AND OPEN END.
- ⑥ HEATING WATER CIRCULATING PUMP ON INERTIA PAD ON 4" HIGH CONCRETE HOUSEKEEPING PAD. SEE TYPICAL DETAIL.
- ⑦ UNIT HEATER SUSPENDED FROM STRUCTURE ABOVE (TYPICAL), SEE DETAIL.
- ⑧ GLYCOL FEED TANK WITH FEED PUMP ON 4" HIGH CONCRETE HOUSEKEEPING PAD. SEE DETAIL.
- ⑨ EXPANSION TANK EXP-1 ON 4" HIGH CONCRETE HOUSEKEEPING PAD. SEE DETAIL.
- ⑩ CHILLED WATER CIRCULATING PUMP ON INERTIA PAD ON 4" HIGH CONCRETE HOUSEKEEPING PAD, SEE DETAIL.
- ⑪ 1" DOMESTIC COLD WATER MAKEUP. SEE TYPICAL MAKE-UP WATER CONNECTION DETAIL.
- ⑫ LOW PRESSURE CONDENSATE RETURN. SEE PLUMBING DRAWINGS.
- ⑬ CONCRETE HOUSE KEEPING PAD, SEE TYPICAL DETAIL.
- ⑭ CONDENSATE RECEIVER CR-1 ON CONCRETE PAD. SEE DETAIL.
- ⑮ SEE STEAM TO HEATING WATER CONVERTER DETAIL.
- ⑯ PIPE STAND SUPPORT UNDER CONVERTER.
- ⑰ SEE CHEMICAL BYPASS FEEDER DETAIL.
- ⑱ 3" EA UP INTO WALL CAVITY ABOVE.
- ⑲ EA DUCT TERMINATE BELOW TOP OF CRAWL SPACE WITH BIRD SCREEN AND OPEN END.
- ⑳ SEE STEAM PRESSURE REDUCING STATION DETAIL.
- ㉑ BALANCING VALVE.

1 **BASEMENT FLOOR PLAN - MECHANICAL**  
M100 SCALE: 3/16" = 1'-0"

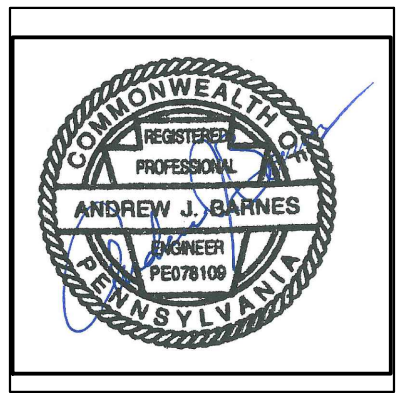


**GRAPHIC SCALE**



BID SET


**M CENTURY ENGINEERING**  
200 Airport Road, Capital City Airport  
New Cumberland, PA 17070  
717-901-7055 Fax: 717-901-7059



426 SOUTH THIRD STREET  
SUITE 101  
LEWISBURG, PA  
(717) 920-2282  
(717) 920-2284 FAX

**KD3 DESIGN STUDIO, INC.**  
ARCHITECTURE + INTERIOR DESIGN

MERCERSBURG ACADEMY  
HEALTH CENTER  
McFARLAND ROAD  
MONTGOMERY TOWNSHIP, FRANKLIN COUNTY, PA

**BASEMENT FLOOR PLAN - MECHANICAL**

Reproduction of the material herein or substantial use without written permission of KD3 Design Studio, Inc., violates the Copyright Laws of the United States and will be subject to legal prosecution. Copyright: 2018

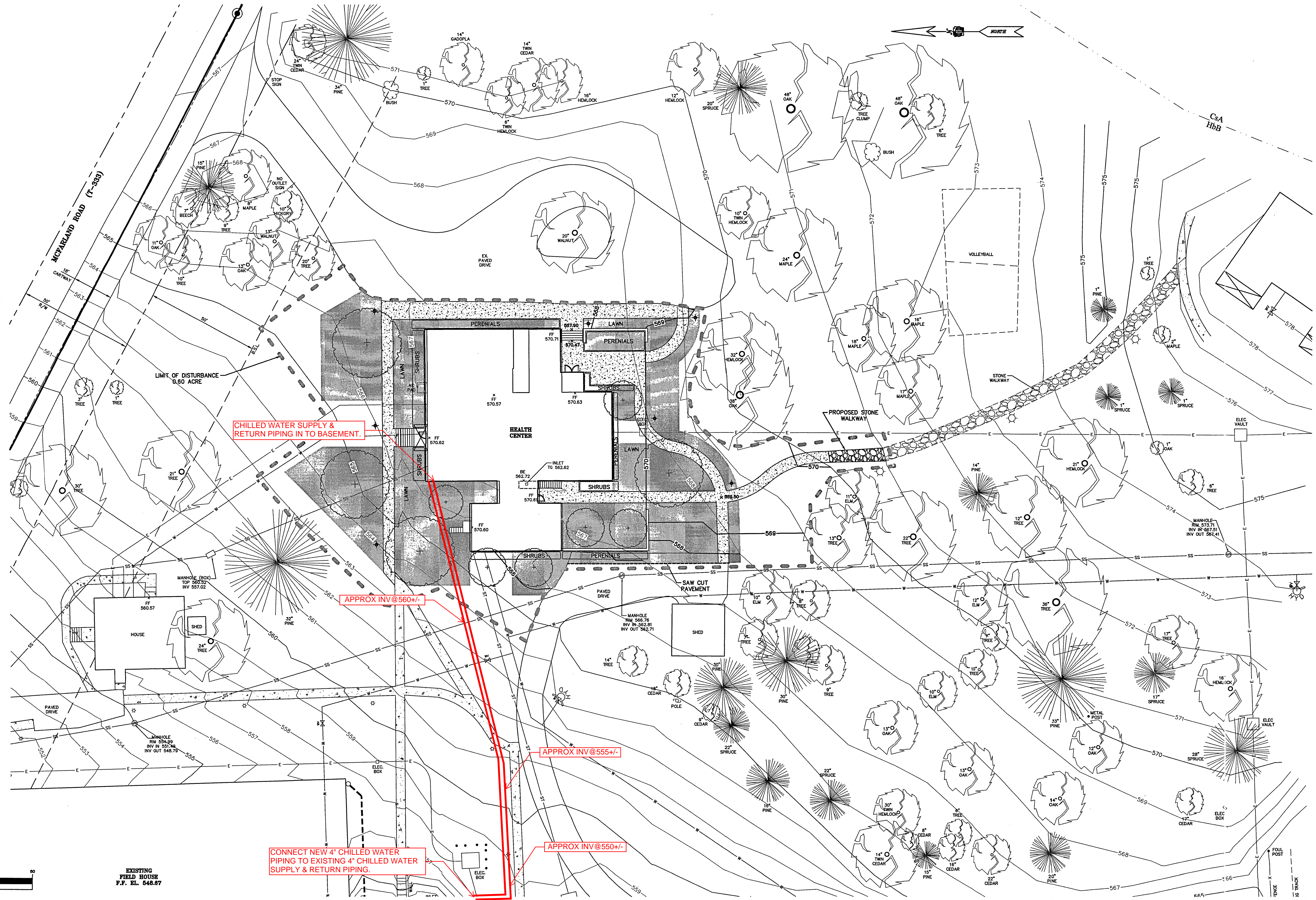
DATE : 08/10/17  
SCALE : AS NOTED  
JOB NO. : 343-14  
SHEET

**M100**

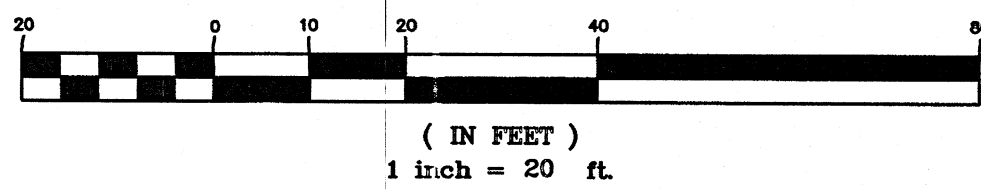


**LEGEND**

- ▲ #7 SOIL PROBE
- #1 #2 INFILTRATION TEST
- ▨ RIPRAP APRON
- SOIL AMENDMENT = 0.23 ACRE
- LIMIT OF DISTURBANCE = 0.60 ACRE
- PROPOSED TREE



**GRAPHIC SCALE**



EXISTING FIELD HOUSE  
F.F. EL. 548.87

170901-PREBID CLARIFICATION

DATE	NO.	REVISION
2/15/17	1	REVISED PER F.I.C.D. COMMENTS DATED 2/08/17 AND TWP. ENGINEERS COMMENTS DATED 2/14/17

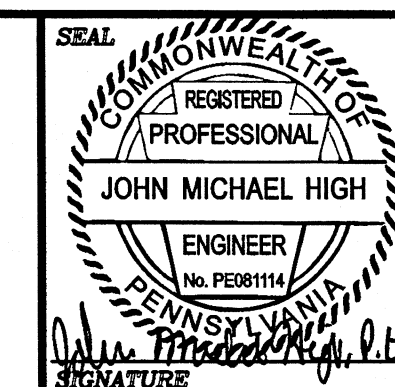
COPYRIGHT (C) RHS ENGINEERING, INC. - REPRODUCTION OR USE OF ANY PORTION OF THIS DOCUMENT OTHER THAN FOR REFERENCE IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN AUTHORIZATION.

**RHS Engineering, Inc**  
civil engineering & project management services  
water quality specialists



www.rhsengineering.com  
info@rhsengineering.com  
41 S Antrim Way  
Greencastle, PA 17225

PH 717 597-0744  
FX 717 597-0535



PRELIMINARY - FINAL  
PCSM SITE PLAN  
FOR  
**MERCERSBURG ACADEMY**  
MONTGOMERY TOWNSHIP  
FRANKLIN COUNTY, PA

SHEET	4
SCALE	1" = 20'
DATE	JANUARY, 2017
JOB NO.	5045HC PLANS



**MERCERSBURG ACADEMY**  
**HEALTH CENTER PRE-BID CLARIFICATIONS**

**August 30, 2017**

**RESPONSE ISSUED 9/1/17**

1. The specified wood door supplier does not offer a flush door and Mohawk/Masonite does not meet the specification. What should we bid?

**Provide EccoDoors single panel door E1000 & G1000 with standard panel and standard raised moulding.**

2. Of your list of approved Landscapers Weavers don't respond and John Kline said job is too big for him won't be bidding. Doesn't appear approved contractors are even interested in this one or can't do it. Could East Coast Green and B&D bid this?

**B&D is acceptable.**

3. Is the Building Permit by the owner?

**Building Permit by owner.**

4. Are performance and payment bonds required?

**Performance and payments bonds are not required.**

5. There is a demo note asking us to replace damaged sheathing. Was there an allowance called out for this since we would not know how much sheathing is damaged until we expose?

**Figure 5% of the roof area to be replaced. Reuse boards from other portions of the roof where the boards are being removed as part of the renovation as much as possible.**

6. Louvers identified on the architectural elevations A and C as W14 and W15 do not appear on the window schedule nor are they mentioned on the mechanical plans. Likewise the louvers shown on the West elevation are not specified in either the mechanical or metal fabrications portion of the specs. If we are to provide these louvers we need specifications and sizes, especially if the louvers are to be something other than standard fixed blade aluminum louvers.

**Provide Construction Specialties, Inc. Model 4097, with interior mounted bird screen, Kynar 500 finish - standard C/S colors. Approximate sizes: North Elevation opening size approximately 10'-10" long by 3'-6" high with (4) louvers and mullions. South Elevation (2)**

**3'-8" x 3'-10". Field verification of final sizes required. Provide block off panels for louvers not used by mechanical.**

7. Please see the two attached drawings which request for direction in regards to a plan to access to these two locations, we reviewed the existing conditions in the field and it has been deemed that these areas are inaccessible due to obstructions or limited space to fit an actual person.

**Ref RFI drawing M100 (Basement Floor Plan): Each contractor is to determine the application based on their field visit and make adjustments to their price accordingly.**

**Ref RFI drawing M102 (Attic Floor Plan): Ceiling to be removed during construction to allow work in space above. Head off roof framing and provide access hatch similar to access hatch in Janitor 104 to allow inspection/maintenance work in attic space. See attached 170830 - A102 and 170830 - A301 for additional information.**

8. Looking for more detail for the fill between the tree protection wall and the sidewalk (Sheet L032), I don't have enough depth to put the soil mix in. They call by the detail for the stone base to start at the bottom of the wall which on the sidewalk side is 570.0, and the sidewalk is at 570.0. So I have no depth to put in the piping or the mix.

**Fill amount varies from 1' depth at the center of the wall, to meeting grade at the ends of the wall. Fill is also about 2' against the south face of the building. See attached sheet to revise the extent of piping and risers from about 63 LF to about 22 LF, to allow soil coverage. Thanks to the contractor for picking this up.**

9. No sequence of operation is shown for Chilled Water Pump P3. Please clarify.

**See the attached Chilled water pump control sequence.**

10. Is EF-3 and the associated dampers to be controlled by the mechanical room temperature? Please clarify and provide temperature sensor location if required.

**EF-3 and associated dampers shall be controlled by thermostat in mechanical room. See attached plan for location.**

11. The sequence of operation for the fan coils mentions and outside air damper for each unit. No outside air dampers are shown on M102. Please clarify if these dampers are required and locations if need be.

**Motorized dampers are not required for the fan coil units.**

12. Please provide Plastic Laminate and Solid Surface selections.

**Product color and patterns will be selected during submittal process. Basis of design for the Plastic laminate: Wilsonart premium laminate with Aeon. Basis of design for the Solid Surface: Corian, Price line C.**

13. Please provide details of how the laminate backsplashes are to be provided.

**At this time we withdraw our previous answer about the plastic laminate wall splash that added a MDF substrate.**

**Provide FRP in lieu of the plastic laminate at all locations indicated on the drawings where a wall splash is noted. FRP product sheet to be subway tile with trim per specifications.**

14. Simply piecing in an MDF panel in place of gypsum board at those locations isn't very feasible and would not return acceptable results. We agree with the other bidder that gypsum is not a proper substrate, and to best achieve a laminate splash, a separate panel should be adhered OVER the gypsum. Since the panel will have thickness, a PVC edge band similar to what will be used on the cabinet doors would be the best way to finish the exposed edges. Old style (think 50's diner) metal edges would not work for that application.

**See response to question 13 above.**

15. Please provide an Underground Chilled Water Layout plan showing the route that the piping is to be run from the Athletic Center/Field House. Please provide a detail drawing of the pipe itself, including a detail of trench depth.

**See attachment "170831 MA HC CW Clarification".**

**Campus standard for underground chilled water supply and return piping should be ThermoCore with SCH40 PVC pipe and fittings. Outer jacket shall be rubber insulation.**

**Vendor Contact: Thomas McCarthy Associates, Inc.  
29 Berkeley Road  
Devon, PA 19333  
Phone: (610) 989-0800  
E-Mail: s.schrager@verizon.net**

16. It appears there is Underground Heating Water Piping that is to be installed. Please provide the same information as requested in item #15.

**Routing is indicated on attached drawing M101 (piping going to DOAS). Depth is 36" below grade.**

17. Please see the fire protection sketches attached to this email for clarifications.

**Ref Fire Protection RFI drawing P100 (Basement Floor Plan): NFPA 13 section 8.15.6.2 allows omission of sprinkler protection in spaces under ground floor not accessible for storage or containing equipment.**

**Ref Fire Protection RFI drawing P101 (Attic Floor Plan): See attached 170830 - A102. Ceiling to be removed during construction to allow work in space above. Following construction access hatch provided to allow inspection/maintenance work in attic space.**

**MERCERSBURG ACADEMY**  
**HEALTH CENTER PRE-BID CLARIFICATIONS**

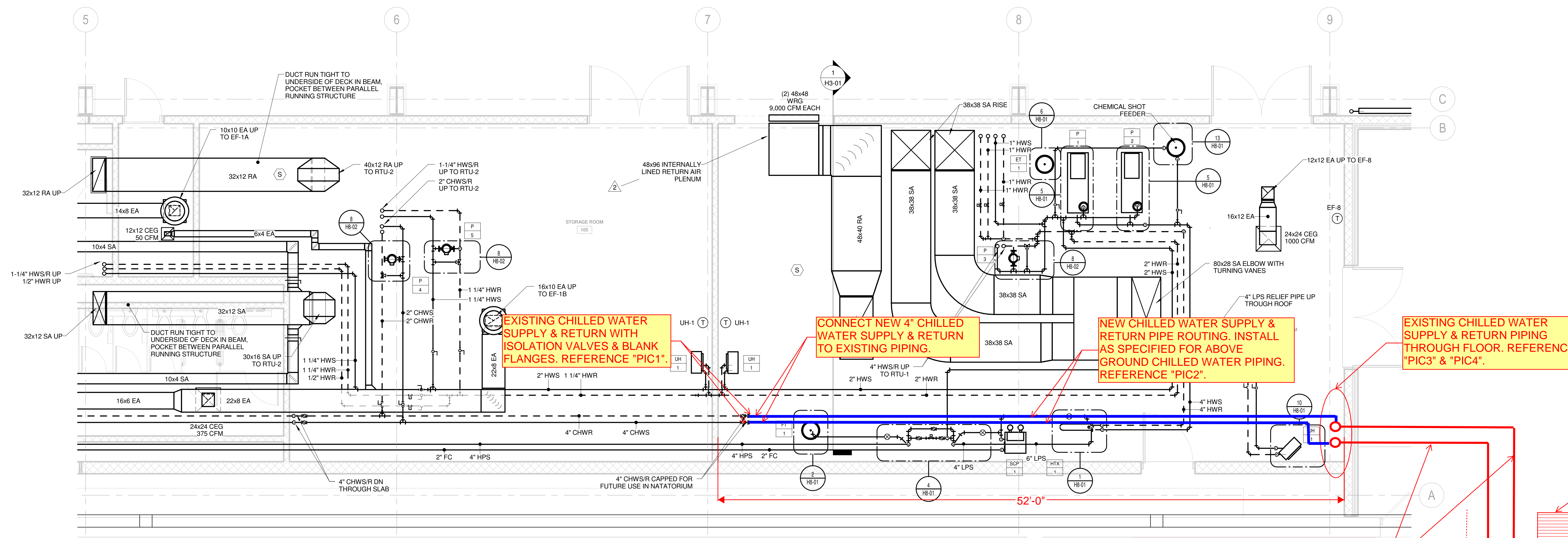
**September 1, 2017**

**RESPONSE ISSUED 9/1/17**

1. The chilled water piping located in the rear of the Hale Field House are not connected internally to the existing chilled water system. Should we cover this in the Health Center Renovation scope of work?

**Yes. Please connect both ends of the chilled water piping located in the mechanical room of the Hale Field House. Lineal feet of piping is about 50-55 feet. Contractor shall install per above ground chilled water piping and insulation specification. Reference supplemental sketches and pictures sent with this clarification.**





**HALE FEILD HOUSE & HEALTH CENTER  
 MECHANICAL PIPING SKETCH  
 DRAWING NOT TO SCALE**

EXISTING PRE-INSULATED 4" CHILLED WATER SUPPLY & RETURN PIPING BELOW GRADE. EXISTING CAPS ON BOTH ENDS OF PIPES FOR FUTURE CONNECTION. REFERENCE "PIC5" & "PIC6".

EXISTING CHILLED WATER SUPPLY & RETURN PIPING THROUGH FLOOR. REFERENCE "PIC3" & "PIC4".

NEW CHILLED WATER SUPPLY & RETURN PIPE ROUTING. INSTALL AS SPECIFIED FOR ABOVE GROUND CHILLED WATER PIPING. REFERENCE "PIC2".

CONNECT NEW 4" CHILLED WATER SUPPLY & RETURN TO EXISTING PIPING.

EXISTING CHILLED WATER SUPPLY & RETURN WITH ISOLATION VALVES & BLANK FLANGES. REFERENCE "PIC1".

EXISTING STORM INLET

EXISTING TRANSFORMER

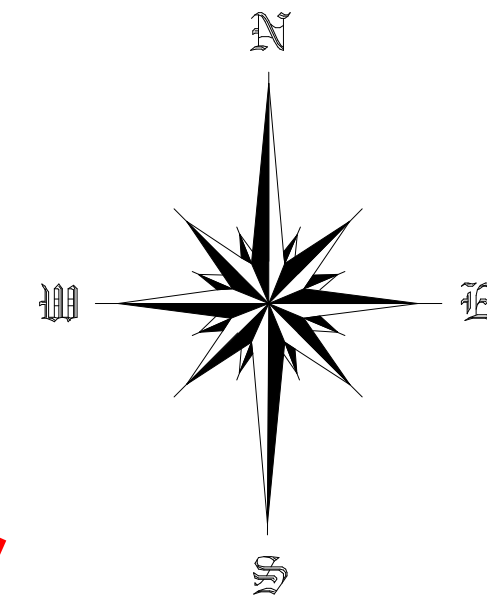
**NOT IN CONTRACT**

MANUFACTURED, PRE-INSULATED STEEL PIPE WITH POLYURETHANE FOAM, AND PROTECTED WITH A FIBERGLASS REINFORCED PLASTIC (FRP) JACKET.

4" UNDERGROUND CHWS/R. REFER TO CIVIL DRAWINGS FOR CONTINUATION

(E) ABANDONED EXHAUST FAN TO BE REMOVED IN ITS ENTIRETY AND VOID INFILLED

(E) ABANDONED EXHAUST FAN TO BE REMOVED IN ITS ENTIRETY AND VOID INFILLED



**For Construction Set**

3	For Construction Set	12/18/15
2	Addendum #2	8/28/15
	Bid & Permit Set	8/5/15
No.	Issue-Addendum-Revision	Date

© Copyright 2011 Bowie Gridley Architects PLLC. All rights reserved worldwide.

**Mercersburg Academy  
 Hale Field House**  
 300 E. Seminary St.  
 Mercersburg, PA 17236

BGA # 11019

**HVAC MAIN LEVEL  
 NEW WORK  
 PLANS**

DRW BY	KCB	<b>H2-03</b>
CHK BY	JPM	
QAM BY	JPM	
SCALE	1/4" = 1'-0"	



EXISTING CHILLED WATER  
SUPPLY & RETURN WITH  
ISOLATION VALVES & BLANK  
FLANGES.





**NEW CHILLED WATER SUPPLY & RETURN PIPE ROUTING. INSTALL AS SPECIFIED FOR ABOVE GROUND CHILLED WATER PIPING.**





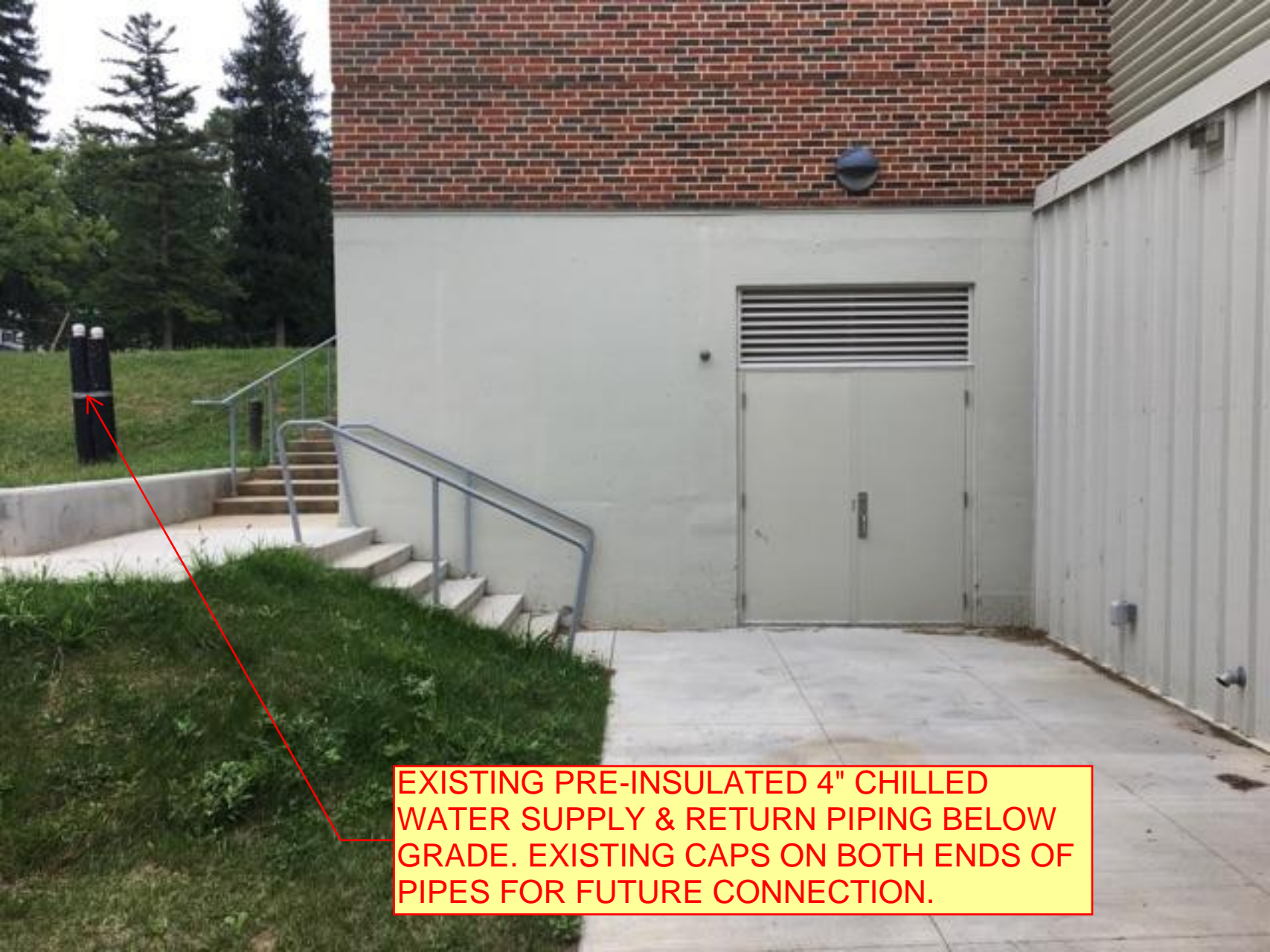


EXISTING CHILLED WATER  
SUPPLY & RETURN PIPING  
THROUGH FLOOR.

EXISTING CHILLED WATER  
SUPPLY & RETURN PIPING  
THROUGH FLOOR.







**EXISTING PRE-INSULATED 4" CHILLED  
WATER SUPPLY & RETURN PIPING BELOW  
GRADE. EXISTING CAPS ON BOTH ENDS OF  
PIPES FOR FUTURE CONNECTION.**

A photograph of a building with a set of stairs leading up to it. The building is white with a dark roof and has several windows. The stairs are concrete with metal railings. In the foreground, there is a concrete curb and a black pipe with two white caps. The background is filled with green trees under a cloudy sky. Two red arrows point from text boxes to the building and the pipe.

**HEALTH CENTER WEST ELEVATION**

**EXISTING PRE-INSULATED 4" CHILLED  
WATER SUPPLY & RETURN PIPING BELOW  
GRADE. EXISTING CAPS ON BOTH ENDS OF  
PIPES FOR FUTURE CONNECTION.**