

GROVE & DALL'OLIO
ARCHITECTS ^{pllc}

MEMORANDUM

To: All Bidders

From: Matthew Grove
Grove & Dall'Olio Architects PLLC
304 267-2120

Date: July 7, 2020

**Re: Shepherdstown Opera House Renovation
ADDENDUM No. 1**

The following information amends or supersedes the current issue of architectural, structural, and MEP drawings/specifications dated June 22, 2020.

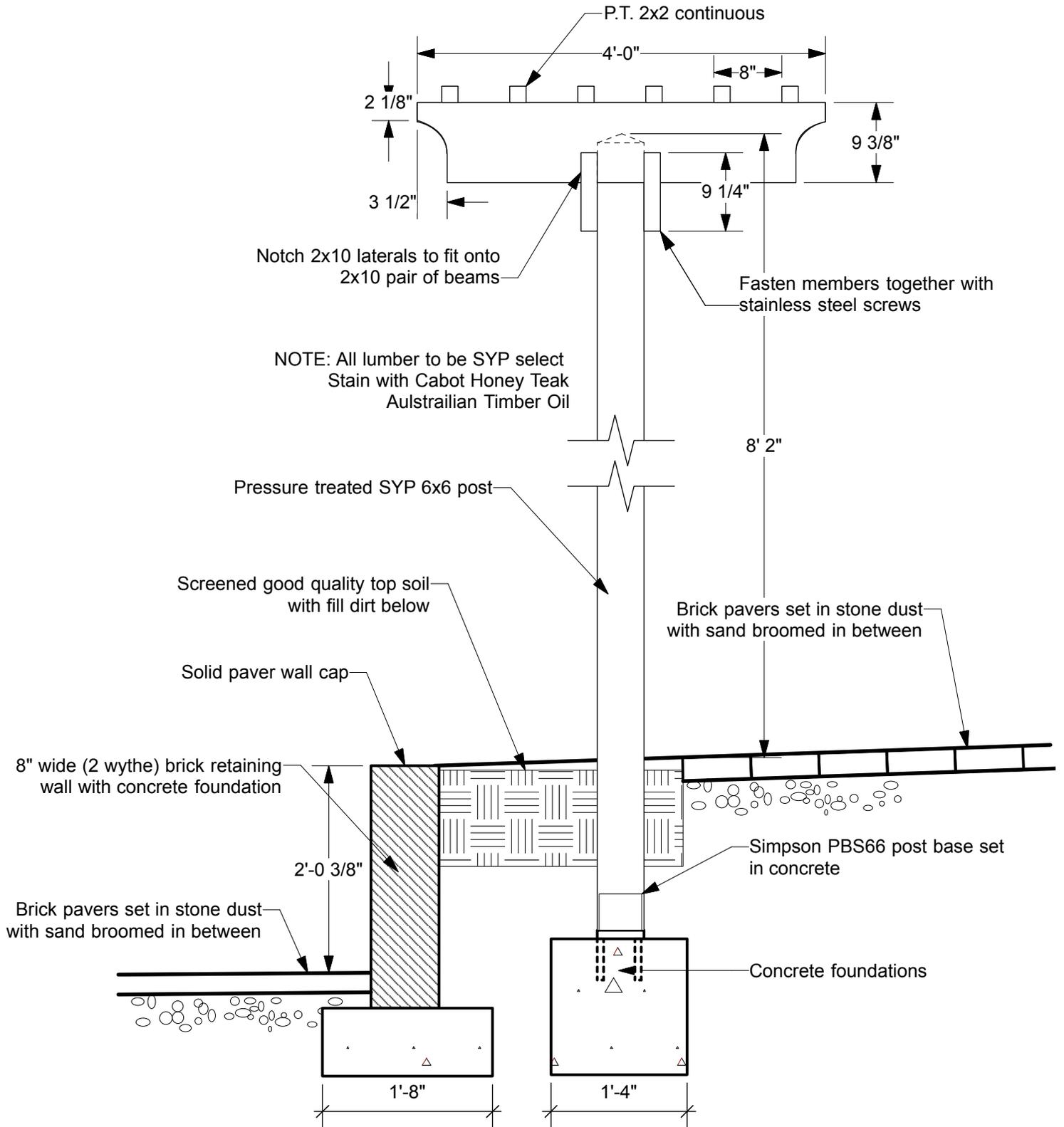
1. Installation of the projection screens is the responsibility of the contractor. The owner shall provide and install the two projection screens. Curtains will be provided and installed by the owner. GC to provide blocking in ceiling for screens and curtains.
2. JJ/S.4 - Outlet for foundation drain is to be routed to the existing storm sewer pipe on north side of German Street.
3. The new storm water drain to German Street culvert will meet slope requirements. Existing foundation depth of front façade will not be known until excavation work is done. Determination of storm water pipe elevation will be made once wall and foundation is exposed.
4. The value of the existing building to be used to calculate the Builders Risk policy is \$700,000.
5. The planting of trees and shrubs is NIC. The contractor shall provide site prep for hardscape and landscaping. Provide 10" of screened good quality top soil in areas noted as planting beds, fountain, or mulched areas. Provide minimum of 4" thickness of 3/4" max. crusher run gravel in parking area.
6. Dowel the new ramp concrete into the existing retaining and foundation walls.
7. Pavers called out in the rear patios shall be the Danish paver (4x8) by Glen-Gery. Pavers are to be set on a 2" (min) bed of compacted stone dust with steel edging. Set brick treads and risers on a concrete base and mortar in place.
8. Detail of roof deck railings have been called out in the specification and detail provided. Upper roof planter and trellis have been detailed.
9. New metal awning shall be standing seam metal roof similar or the same as the metal roofing on Stair C. Provide 2" x 2" aluminum posts supporting a 2"x6" aluminum beam. Anchor 2"x2" posts to top of existing concrete retaining wall. Anchor top of awning to building face down with 2"x6" aluminum ledger. Flash ledger. Provide 5/8" thick T-111 underlayment (finished face down) for roofing. Color TBD.
10. The existing domestic water line and meter are to remain. Contractor to provide the 6" fire line and tap. There is no tap fee by the Town of Shepherdstown.
11. The east foundation will only be slightly lowered (if at all). As a result, no impact to the adjacent building is expected. If site conditions are different than expected, any underpinning would be an additional cost.
12. Appliances such as Ranges, Washer/Dryers, Refrigerators and Microwaves are not in the contract.
13. The third floor roof deck slopes northward 1/8" per foot. The roof framing is to be rebuilt as called for on the structural drawings with increased support for the new live loads. Provide crickets or run-outs to provide proper drainage to the collecting gutters and downspouts.
14. 1/A1.2 – provide 1 1/2" dia galvanized steel handrail on both sides of ramp along east side of building.
15. Dressing room furnishings are NOT in contract.



16. 1/A3.2 – The woodwork feature above the patio gate north of the stairwell corner is a trellis. Shown on site plan 1/A1.2. See attached detail of patio trellis, A.SK-1.
17. 1-2/A3.3 – Provide only 2' of perimeter insulation, 2" thick, beneath new concrete slabs.
18. 2/A3.3, 9/A6.1 – Provide Type 5 conveyor rollers as manufactured by Ultimotion.
19. Wainscot material is 1x4 T&G beaded board as called out in 6.5 of the specifications.
20. 3/A3.3 – Provide wood hand railing in Stair B on both sides.
21. 1/A3.3 and 1/S.3 – Auditorium floor – 3/4" plywood subsheating is required on the 2x8 at 4x4 sleepers before white oak finish flooring.
22. 3/ A6.1 – faux acoustical beams are custom fabricated.
23. Insulation values in 2nd and 3rd floor systems shall be 12" thick R-38 unfaced except at underside of roof, use paper faced batt with moisture barrier.
24. 33/A4.2 – Salvaged coiling overhead roll down door is presently located between theater lobby and stair A.
25. 15/A4.2 – glass shower doors are specified on 10.2 of the specification sheet A1.3.
26. Plumbing fixture schedule is provided on sheet P.01.
27. 43/44/A4.2 – Interior elevations are mislabeled. Laundry room on third floor is 301A not 308. Elevations do not show third water heater in this room. Third water heater must be wall hung above the dryer or washer. Plumbing sheet P1.2 does not show laundry sink. Add laundry sink to this room as shown on the architectural elevation.
28. 11/ A6.1 Removable seating detail, the intent is to skew the finish flooring and underlying 2 x 8 blocking between joists. However the joists running front to back are not skewed.
29. The GC is to provide a portable set of custom wood steps using the specified flooring material. Treads to be stained, the balance of the wood frame to be painted.
30. A2.4 dashed rectangles at the stage area represent seating standards in their stored positions.
31. The stage is not required to be fire rated however, the storage space below must be sprinklered.
32. 1 /A3.3 - disregard the rectangular wall panel on the auditorium wall.
33. A sketch of the wood German siding "to match" has been attached, A.SK-2.
34. "Resin panel" called out on detail 7/A6.1 shall be 1/2" thick 3Form Varia Chroma. Color to be determined. Provide clips to anchor to wall.
35. Power to the building shall be single phase. See revisions made on E.SK-1 and E.SK-2 sketches.
36. The bid due date has been extended to Friday July 31 at 3pm. Bids are to be emailed to matthew@gdaaia.com.
37. No Bid Bond is required on this project.
38. Project close-out documents include "red lined" as-builts, O&M manuals, a minimum one year warranty on all labor and materials.
39. TPO roofing membrane may be used in lieu of EPDM.
40. Please provide a unit price (\$/yd) for rock removal if encountered in the excavation work assuming chipping, not blasting.

End Addendum No. 1





A-SK
1

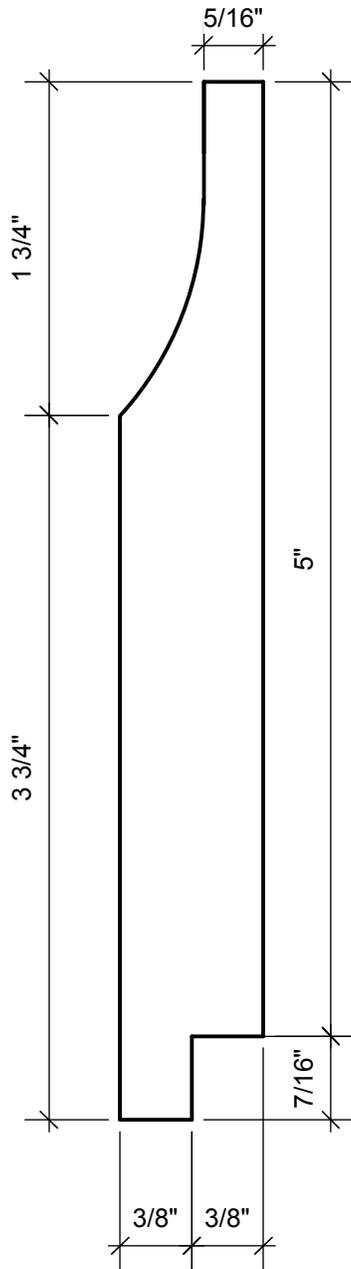
Patio Trellis

Scale: 3/4" = 1' 0"

Project: Shepherdstown Opera House Renovation

07/07/20

19820



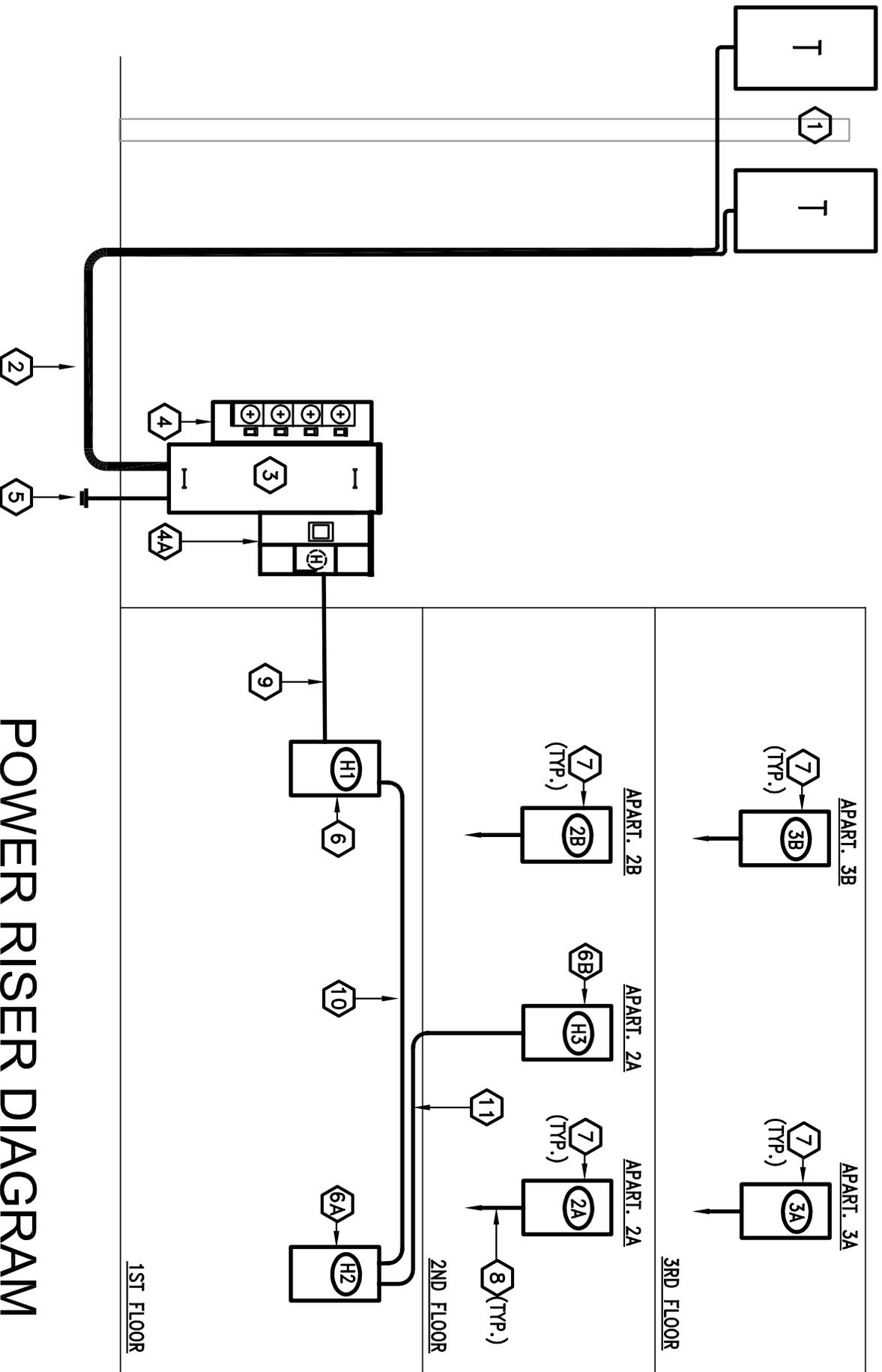
A-SK
2

Opera House German Siding

07/07/20
19820

Scale: Full Scale

Project: Shepherdstown Opera House Renovation



POWER RISER DIAGRAM

SCALE : NONE

GDA, PLLC 18 BOSCAWEN STREET WINCHESTER, VIRGINIA 22601 540.773.2328		FHC ENGINEERING, PC 4 WEEMS LANE #277 WINCHESTER, VIRGINIA 22601 540.247.2939	
PROJECT	SHEPHERDSTOWN OPERA HOUSE RENO.	DRAWN BY:	AWJ
DESCRIPTION	RFI #1	DATE:	07.07.2020
		CHKD. BY:	AWJ
		SCALE:	NONE
		DRAWING NO.	ESK-1

POWER RISER KEYED # SHEET NOTES

1. UTILITY COMPANY POLE MOUNTED TRANSFORMER(S).
2. SERVICE LATERAL CONDUITS – CONTRACTOR SHALL PROVIDE ALL NECESSARY EXCAVATING AND BACKFILL AND SHALL FURNISH AND INSTALL SERVICE LATERAL CONDUITS (FOUR 3” SCHEDULE 40 PVC FOR PRICING PURPOSES ONLY), THE UTILITY COMPANY WILL SPECIFY THE ACTUAL TYPE, QUANTITY AND SIZE OF THE CONDUITS TO BE INSTALLED. THE CONTRACTOR SHALL INSTALL A ¼” DIAMETER, NYLON OR POLYPROPYLENE PULLING ROPE IN EACH CONDUIT FOR THE UTILITY COMPANY’S USE IN INSTALLING THE CONDUCTORS.
3. MAIN SWITCHING DEVICE: 240Y/120Vac, 800A, 1∅ INCOMING AND 1∅ OUTGOING W/ MAIN FUSIBLE SWITCHES – SQUARE D MODEL EZM1800FSU OR APPROVED EQUAL.
4. METER STACK: 120/240V, 125A, 4 HOLE, 1∅ INCOMING AND 1∅ OUTGOING, 2–POLE BRANCH CIRCUIT BREAKERS – SQUARE D MODEL EZM114125 OR APPROVED EQUAL. CONTRACTOR TO COORDINATE METER SOCKET CHARACTERISTICS WITH LOCAL UTILITY COMPANY.
- 4A. COMMERCIAL METER STACK: 120/240V, 400A, SINGLE HOLE, 1∅, INCOMING AND 1∅ OUTGOING – SQUARE D MODEL EZML111400 OR APPROVED EQUAL. CONTRACTOR TO COORDINATE METER SOCKET CHARACTERISTICS WITH LOCAL UTILITY COMPANY.
5. TO SERVICE GROUND – SEE DETAIL THIS SHEET.
6. 400A, 120/240V, 1∅, 3W, 65K AIC RATING, 42 POLE, MCB, HOUSE PANELBOARD "H1" – SQUARE D OR APPROVED EQUAL.
- 6A. 200A, 120/240V, 1∅, 3W, 10K AIC RATING, 24 POLE, MCB, HOUSE PANELBOARD "H2" – SQUARE D OR APPROVED EQUAL.
- 6B. 200A, 120/240V, 1∅, 3W, 10K AIC RATING, 24 POLE, MCB, HOUSE PANELBOARD "H3" – SQUARE D OR APPROVED EQUAL.
7. APARTMENT UNIT LOAD CENTER – 100A, 120/240V, 1∅, 3W, 10K AIC RATING, 36 POLE, MCB – SQUARE D OR APPROVED EQUAL.
8. APARTMENT UNIT LOAD CENTER FEEDER – ONE SET OF (3) #2 + (1) #8 GND. IN 1-¼” CONDUIT.
9. PANEL "H1" FEEDER – TWO SETS OF (3) #2/0 + (1) #4 GND. IN 2” CONDUITS.
10. PANEL "H2" FEEDER – ONE SET OF (3) #2/0 + (1) #4 GND. IN 2” CONDUIT.
11. PANEL "H3" FEEDER – ONE SET OF (3) #2/0 + (1) #4 GND. IN 2” CONDUIT.

GDA, PLLC 18 BOSCAWEN STREET WINCHESTER, VIRGINIA 22601 540.773.2328	PROJECT	DRAWN BY:	DATE:	DRAWING NO.
	SHEPHERDSTOWN OPERA HOUSE RENO.	AWJ	07.07.2020	E2.1
FHC ENGINEERING, PC 4 WEEMS LANE #277 WINCHESTER, VIRGINIA 22601 540.247.2939	DESCRIPTION	CHKD. BY:	SCALE:	SKETCH NO.
	RFI #1	AWJ	NONE	ESK-2