

GROVE & DALL'OLIO  
ARCHITECTS PLLC

**Addendum #4**

To:	General Contractors	From:	Lisa Dall'Olio
Attn:	Estimating Departments	Pages:	3
Fax:		Date:	11/10/21
Re:	Claggett Center Barn		

The following information clarifies the information in the drawings dated 10/1/2021:

- Question: Raycore insulation panels appear to have no means to join panels end to end or side to side. This could result in misalignment of panels installed on top of the existing roofing, in particular where the ends of the panels fall between the rafters. Is there an acceptable degree of misalignment between panels?

Answer: The panels will need to be cut closest to their full length but so short enough so that they fall on the middle of a rafter. That way both ends of adjacent SIP panels can be secured into the rafters.
- Question: The roofing specification calls for concealed fasteners on 12" centers. This is our standard practice for installing standing seam roofing. Sheet S1.4 calls for 2x6 24" o.c. between SIPs. Raycore offers studs at 16" o.c., and 24" o.c. Installing 5/8" minimum thickness plywood or OSB on top of the Raycore insulation panels would enable fastening the metal roofing on 12" centers. Using SIPs manufactured with 5/8" OSB on the top side is an alternative to applying sheathing in the field. How is the roof fastening discrepancy to be resolved?

Answer: Please plan on installing 5/8" OSB on top of the Raycore SIPs which will enable the 12" on center roofing attachments.



3. Question: Photography

A. How many pre-construction photos will be required and how much of the adjacent site needs to be included?

Answer: Minimum pre-construction exterior views include 1 straight on of each facade and one straight on at each corner at a 45° to the walls. An additional 8 photographs taken from the building corners and mid-sections facing away from the building to the surrounding settings. Last a minimum 10 photographs of the interior of each floor. Though it's not required additional baseline photographs are to the builders advantage.

B. What timeframe should be assumed by "Periodic construction photographs" in Section 013233-Photographic Documentation Part 1.2 Summary A.2 and how many photographs are required for this time period?

Answer: Once per month at a minimum but additional photographs are required to document installations that will later be hidden. Additionally photo documentation is required for unseen and unexpected conditions uncovered during construction.

C. Is it acceptable to submit photos electronically by direct upload to a project file sharing site or by URL with a zip file?

Answer: Yes, JPEGs in a Drop Box file are acceptable but must be of a fine (not lowest) resolution.

4. Question: Please provide Floor Plan with dimensions, (3) Exterior Elevations and a Wall Section through the Condenser Farm.

Answer: Upper and Lower Floor Plans with additional dimensions are herewith provided. Additional dimensions of the condenser farm will be provided tomorrow as a final addendum #5.

5. Question: Sheet A4.2 West Elevation shows stone veneer on the west wall of the addition up to the same elevation as the top of the masonry screen wall around the condenser farm. Detail 3 on A5.3 shows the west wall of the addition as CMU with stone veneer up to the bottom of the upper level floor joists. Please clarify where the transition from stone veneer/CMU to board siding on frame walls occurs.

Answer: The vertical board siding should come down to 4' above the finished grade on all three sides of addition stepping it down on the South side in two steps.

6. Question: Please provide the Flow Test Report for fire suppression.

Answer: The flow test yielded 35 #'s on a 2.5' bore, 980-1010.

7. Question: A reliable millwork company was unable to quote the wood doors for this reason; "We meet or exceed the AWI standards in construction. The NWMA stamp is something we cannot provide. We researched it but were unable to find exact data on the NWMA standard". Is there NWMA data available to answer their question or can the AWI standards be used?

*Answer: AWI standards are fine but specifications must be followed otherwise.*

END OF Addendum #4



3035 Buckeystown Pike  
Adamstown, MD 21710

Preservation Consultant

Structural Engineer

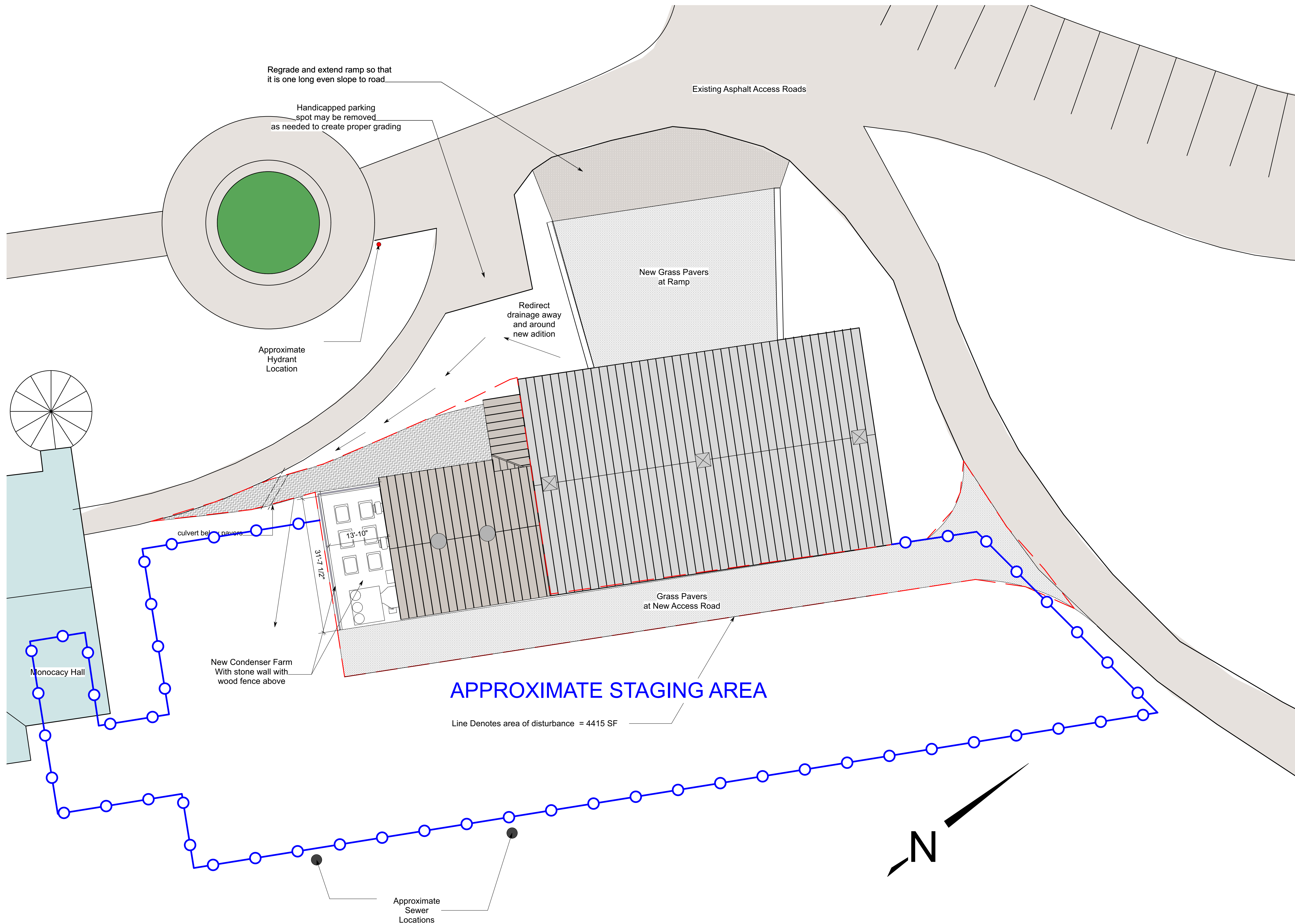
Mech/Elect Engineer

GROVE & DALL'OLIO  
ARCHITECTS<sup>PLLC</sup>

Drawing Title

Date	10/1/2021		
Scale	As Noted	Project Number	20180
Drawing Number			

## A2.1







2 Window W104  
Scale: none



3 Window W107  
Scale: None



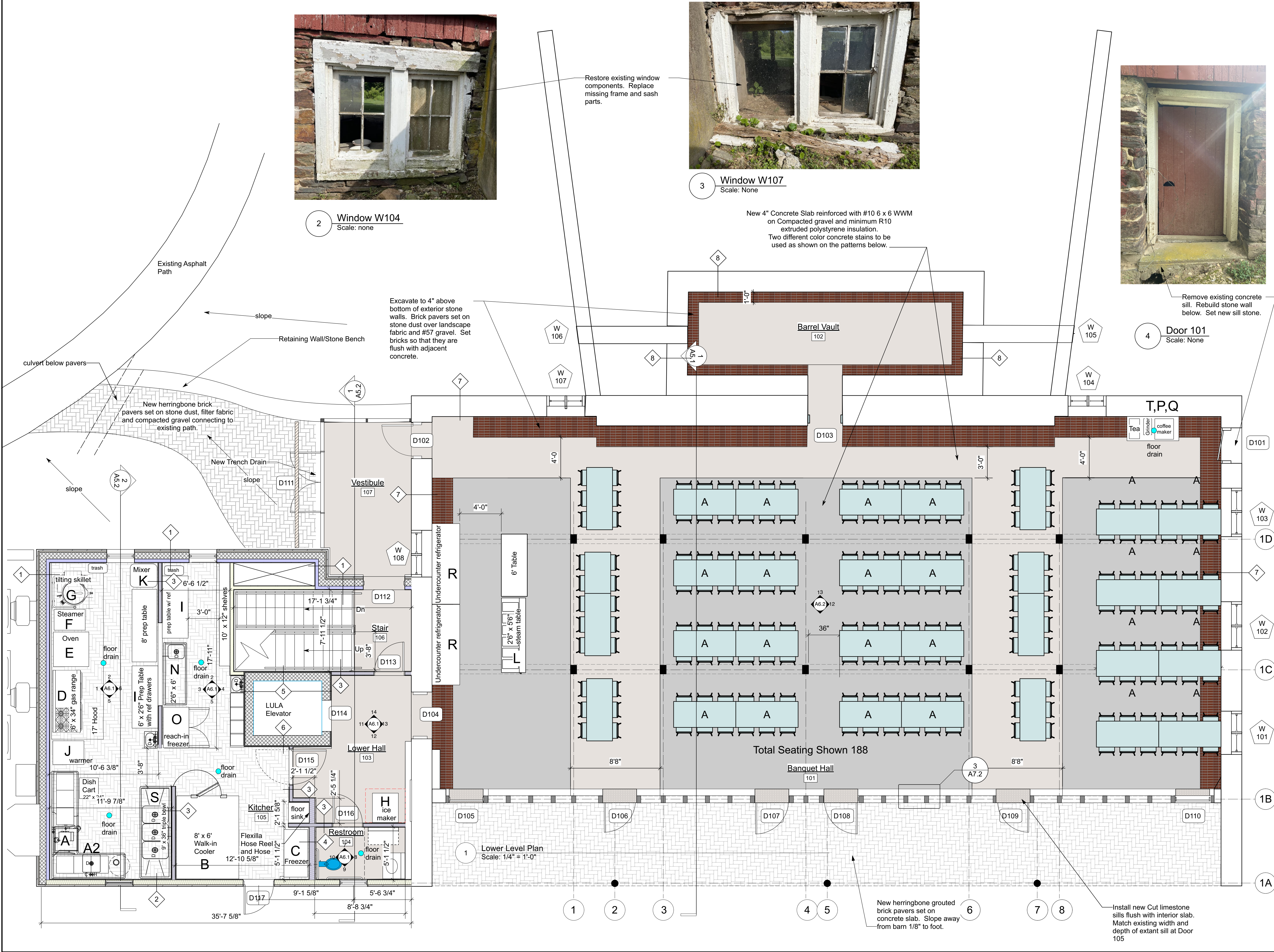
4 Door 101  
Scale: None

Restore existing window components. Replace missing frame and sash parts.

New 4" Concrete Slab reinforced with #10 6 x 6 WWM on Compacted gravel and minimum R10 extruded polystyrene insulation. Two different color concrete stains to be used as shown on the patterns below.

Remove existing concrete sill. Rebuild stone wall below. Set new sill stone.

Excavate to 4" above bottom of exterior stone walls. Brick pavers set on stone dust over landscape fabric and #57 gravel. Set bricks so that they are flush with adjacent concrete.



# Claggett Center Barn Renovation

3035 Buckeystown Pike  
Adamstown, MD 21710

**BID SET  
NOT FOR  
CONSTRUCTION**

Preservation Consultant

**Douglass C. Reed**  
Historic Structures Consultant  
301-730-2699  
[doug@preservationassociatesinc.com](mailto:doug@preservationassociatesinc.com)

Structural Engineer

**Matonak & Associates**  
931 Sweeney Drive  
Hagerstown, MD 21740

Mech/Elect Engineer

**Comfort Designs**  
620 Pennsylvania Avenue  
Winchester, VA 22601

**GROVE & DALL'OLIO**  
ARCHITECTS<sup>PLLC</sup>



18 W. BOSCAWEN • WINCHESTER, VIRGINIA • 22601

Issue / Revision

Scale

Drawing Title

**Lower  
Level Plan**

Date 10/1/2021

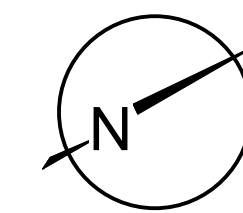
Scale As Noted

Project Number 20180

Drawing Number

**A3.2**



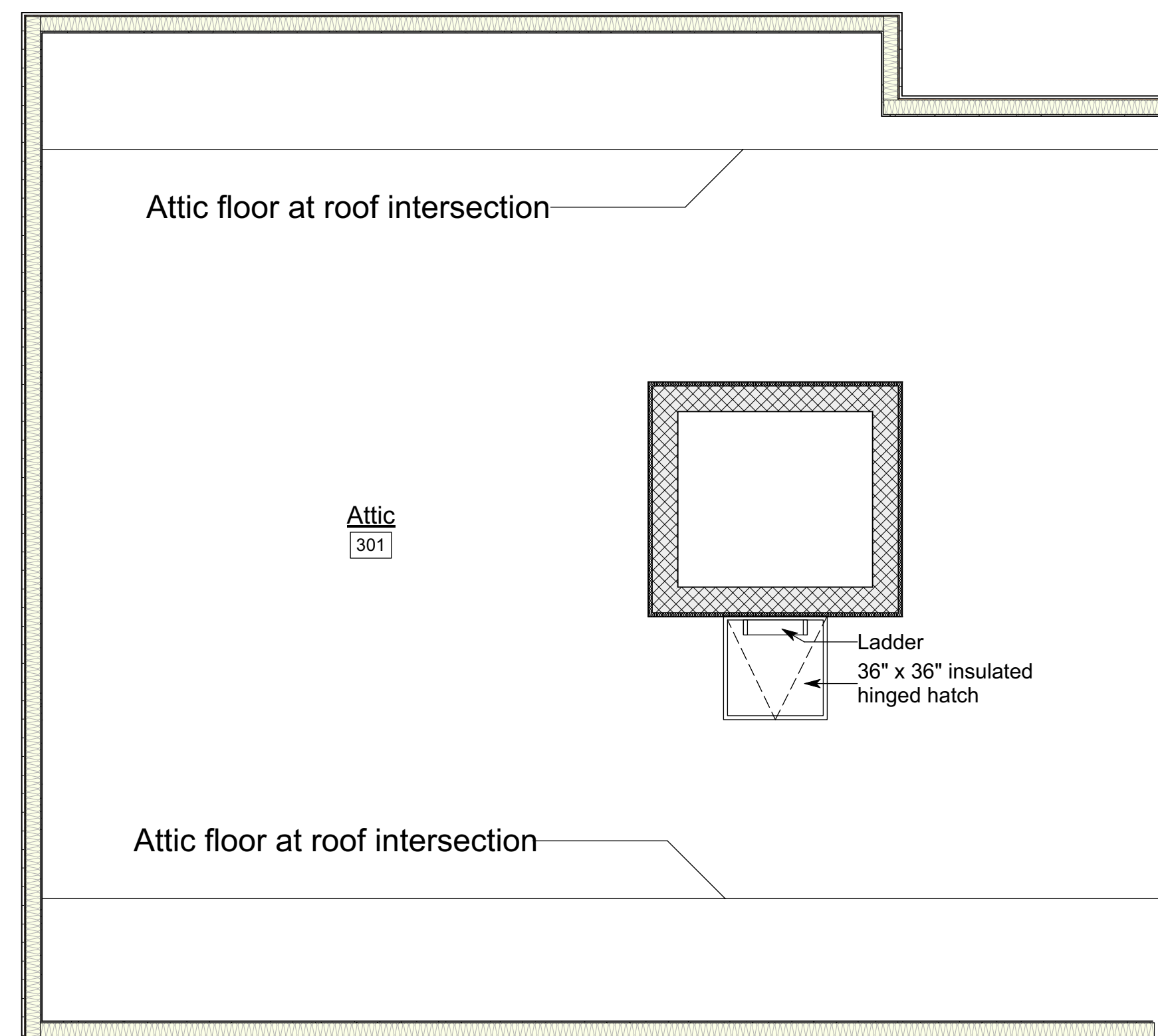


NORTH (magnetic)

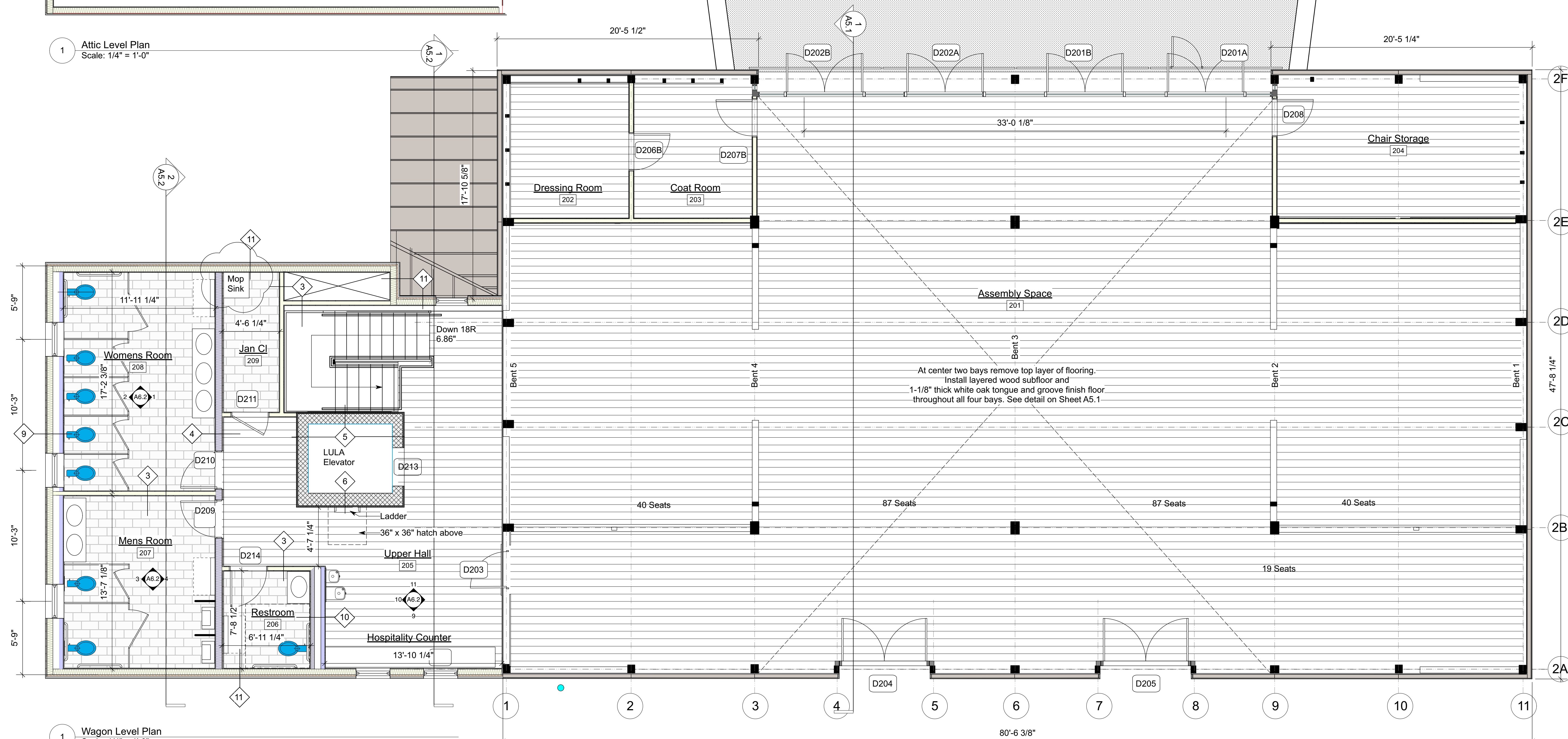
# Claggett Center Barn Renovation

3035 Buckeystown Pike  
Adamstown, MD 21710

BID SET  
NOT FOR  
CONSTRUCTION



1 Attic Level Plan  
Scale: 1/4" = 1'-0"



1 Wagon Level Plan  
Scale: 1/4" = 1'-0"

Preservation Consultant

**Douglass C. Reed**  
Historic Structures Consultant  
301-730-2699  
[doug@preservationassociatesinc.com](mailto:doug@preservationassociatesinc.com)

Structural Engineer

**Matonak & Associates**  
931 Sweeney Drive  
Hagerstown, MD 21740

Mech/Elect Engineer

**Comfort Designs**  
620 Pennsylvania Avenue  
Winchester, VA 22601

**GROVE & DALL'OLIO**  
ARCHITECTS<sup>PLLC</sup>



18 W. BOSCAWEN • WINCHESTER, VIRGINIA • 22601

Issue / Revision      Seal

Drawing Title

**Wagon  
Level Plan**

Date: 10/1/2021  
Scale: As Noted      Project Number: 20180  
Drawing Number

**A3.3**