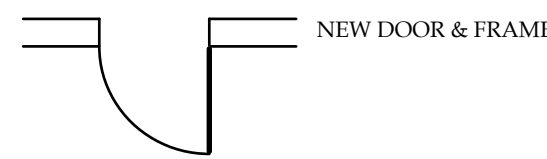


MATERIALS LEGEND

	COMPACTED GRAVEL FILL		GLASS
	CONCRETE		CERAMIC TILE
	BRICK MASONRY		FINISHED WOOD
	CONCRETE MASONRY		ROUGH WOOD
	MARBLE, STONE		PLASTER, GYPSUM
	METAL		BATT INSULATION
	PLYWOOD		RIGID INSULATION

SYMBOLS LEGEND

	Section No.		ROOM NUMBER
	BUILDING SECTION REFERENCE NO.		DOOR NUMBER
	Drawing No.		WINDOW DESIGNATION
	WALL SECTION REFERENCE NO.		REVISION NUMBER
	Detail No.		PARTITION TYPE
	DETAIL REFERENCE		CENTER LINES OR MATCH LINES
	Elevation No.		PROJECT LIMIT LINES OR PROPERTY LINES
	ELEVATION REFERENCE		HIDDEN LINES

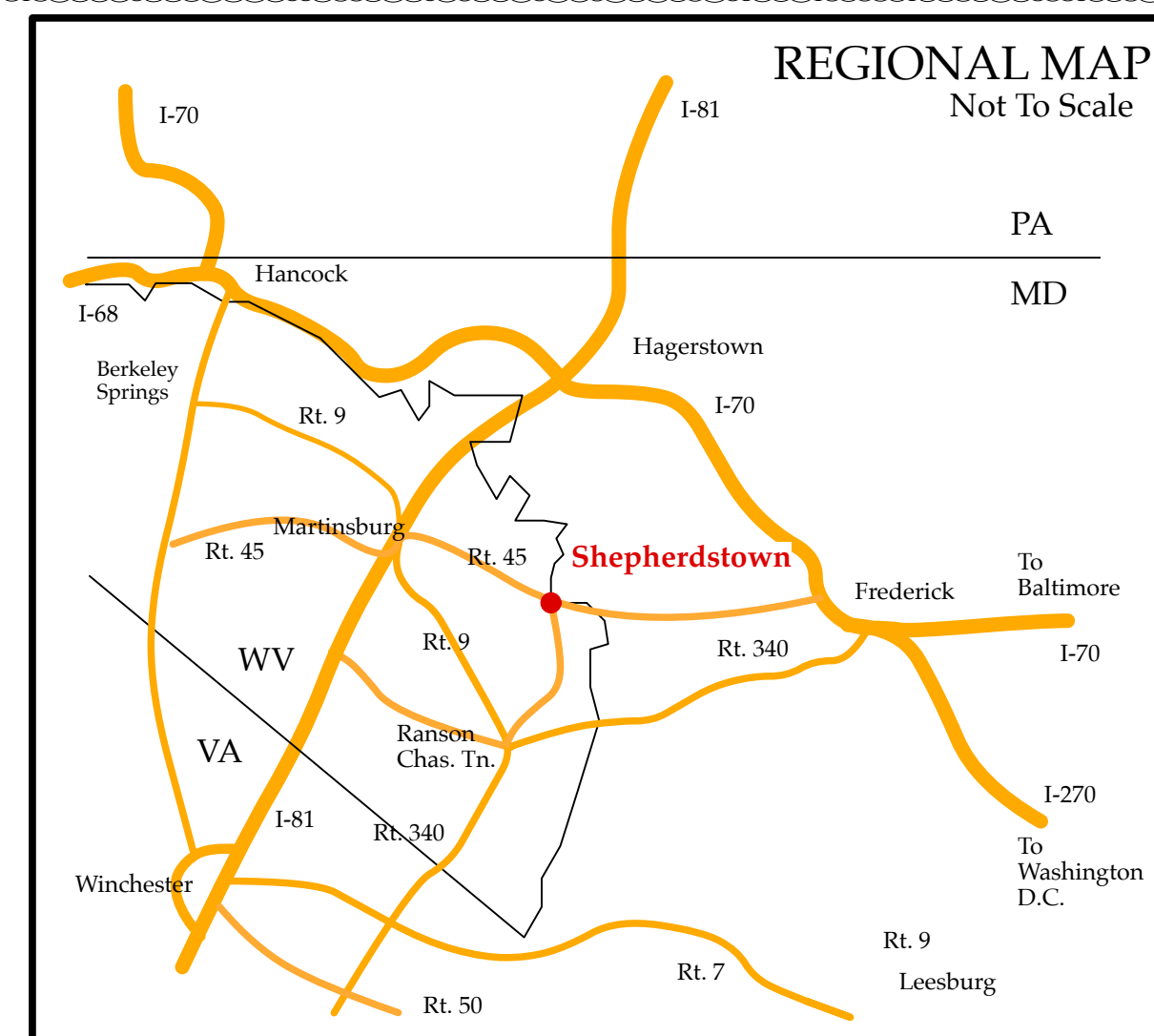


ABBREVIATIONS

ATC Acoustical Tile Ceiling	HM Hollow Metal
ADJUST Adjustable	HPL High Pressure Laminate
AFF Above Finish Floor	HR Hour
ALUM Aluminum	HW Hardware
CPT Carpet	INSUL Insulation
CAB Cabinet	JB Junction Box
CL Closet	MAX Maximum
CT Ceramic Tile	MIN Minimum
CLG Ceiling	MTL Metal
CONT Continuous	NIC Not in Contract
COTR Contract Officer's Tech'l Representative	NO Number
CMU Concrete Masonry Unit	NTS Not to Scale
DF Drinking Fountain	OC On Center
DN Down	OH Opposite Hand
DWG Drawing	PLAM Plastic Laminate
ELEC Electrical	PT Paint
EQ Equal	PWD Plywood
EQUIP Equipment	SS Stainless Steel
EXG Existing	TBD To Be Determined
FEC Fire Extinguisher Cabinet	Temp Tempered
FFE Finish Floor Elevation	TYP Typical
GA Gauge	UON Unless Otherwise Noted
GC General Contractor	VCT Vinyl Composition Tile
GL Glass	VIF Verify in Field
GWB Gypsum Wallboard	WD Wood
GWB-X 5/8" Type X Gypsum Wallboard	WR Water Resistant

GENERAL NOTES

- All contractors doing work on site shall have a Business License from the State of West Virginia and a business license with the town of Shepherdstown.
- Locating Openings: Unless otherwise dimensioned, center doors and framed openings between adjacent walls.
- Schedule: The Contractor shall prepare a construction schedule prior to the start of the job which will be reviewed at each progress payment request.
- Fire Safety:
 - All materials stored at construction area, and/or in any area of the building, are to be secured in a locked area. Access to such areas is to be controlled by Owner and General Contractor.
 - All materials to be stored in an orderly fashion.
 - All flammable materials to be kept tightly sealed in their respective manufacturer's containers. Such materials are to be kept away from heat.
 - All flammable materials to be used and stored in an adequately ventilated space.
- Dust Control:
 - Debris, dirt, and soot shall be kept to a minimum, and be confined to the immediate construction area.
 - Debris, dirt and dust to be cleaned up and cleared from building periodically to avoid any excessive accumulation.
 - Tape off and poly. doorways between work area and non work areas.
- Furnish all labor, materials, appurtenances, equipment, and services necessary and required to complete all work so noted or depicted on the following drawings.
- All interior partition dimensions are from stud to stud, unless noted otherwise.
- Examine the conditions and preparations made for the performance of all work and notify the Architect in writing of conditions detrimental to the proper and timely completion of the work. Do not proceed with work until conditions are made satisfactory for performance of work.
- Order all specified materials and fabricated items with sufficient lead time so as not to delay work in any manner.
- Care should be taken to protect all site and construction conditions throughout the course of construction. Should any damage occur, the contractor shall restore to the prior condition.
- The Contractor shall make arrangements with the Architect to coordinate and direct connection of service so as not to delay the progress of the job.
- Manufacturer's recommendations and installation instructions shall be adhered to for all materials used.
- The Contractor shall not scale the drawings. In the event that a needed dimension is not clearly indicated, notify the Architect at once. Proceed with the affected work only upon receipt of explicit direction by the Architect.
- The Contractor shall alert the Architect a minimum of 48 hours in advance of the following field inspections: The Architect shall verify floor layout of walls prior to their construction. The Architect shall verify framing installation prior to installation of wall board panels or block.
- The Contractor shall collect all product warranties and relevant receipts on the project. The Contractor shall compile this information and turn it over to the Architect prior to final payment. All work shall be warranted by the Contractor for one year from the date of Substantial Completion.
- Unless noted specifically that work is to be done by others or by the Owner, the Contractor shall provide and install all work shown or described in the Contract Documents.
- All penetrations through fire and smoke rated construction shall be sealed. See mechanical drawings for locations of fire and smoke rated dampers.
- Provide and maintain in a sanitary condition during the construction period adequate toilet facilities for use of all employees from beginning to end of work; install at an approved location to meet the requirements of the local health department. Equip temporary toilets with weatherproof enclosure doors. Shield toilets to insure privacy. Use of permanent plumbing fixtures within the building during construction will not be permitted.
- A retainage amount of 5% will be withheld from each application for payment and shall be paid in full to the Contractor upon total completion of the project.
- Asbestos containing material (siding) exists on east and west exterior walls beneath some vinyl siding on the older sections of the building. No work is called for in these areas. However, workers encounter this ACM or other suspected ACM, the General Contractor shall contact the Owner and Architect immediately. The environmental study conducted on this building has been made available to the Contractor for their information and records.
- Contractor is required to carry Builder's Risk Insurance during the construction phase for the full value of the existing building plus the value of improvements made.
- Appliances such as Ranges, Washer/Dryers, Refrigerators and Microwaves are not in the contract.
- Project close-out documents include "red lined" as-builts, O&M manuals, a minimum one year warranty on all labor and materials.
- A final cleaning is required.
- The general contractor is ultimately responsible for installation of condensate drains and should decide which trade does the installation.
- General Contractor shall be responsible for the fire line tap, and all costs associated with backfilling and road patching.



LIFE SAFETY NOTES

Code Analysis for the Opera House March 2020

County: Jefferson County
 Town: Shepherdstown, WV
 Zoning: Residential/Commercial
 Allowable uses: All
 Building Code: 2015 NFPA 101, WV State Fire Code
 2015 IBC

Existing & Proposed Use Groups:
 First Floor: Assembly (<300 people)
 Second & Third Floors: Apartment Building

Separation Required: 1 hour

Construction Type: V (111)

Fire Suppression System: Yes (new)

Area of allowable uses: 3,000 sf/floor

Maximum Floor Height: up to 40', actual floor height is 30'

Fire Resistance Rating Requirements:

frame - 0 hour*
 ext bearing walls - 1 hours
 int. bearing walls - 0 hour
 floor joists & beams - 0 hr.
 roof beams/joists - 0

Fire Resistance Rating Provided:
 separation between uses: 1 hour

First floor Area

- WV State Code 2.2a and table 2.2a Sprinkler Protection and Area of Limitation Approved automatic sprinkler system in accordance with applicable NFPA Standards for limitation. More than 2 stories and up to 40'.
 - WV State code 2.2.d Fire alarm system
 2.2.d.1 General requirements for all occupancies
 Applies in addition to NFPA 101 Life Safety Code Chapter 9
 - NFPA 101 12.2.2.3.1 Stairs for balcony and stage areas see 12.4.6.1.2
 Stage stairs shall not exceed 42" in height, may have railing on one side only and may be built of combustible material.
 - Main entrance area Exit NFPA 12.2.3.6, Other exits 12.2.3.7.
 Main exit must have capacity to accommodate 2/3s of occupants. Second exit must have capacity to accommodate 1/2 of occupants. Both do.
 - General requirements for access and egress routes within assembly areas. NFPA 101 12.2.5.4
 - Aisle width. NFPA 101 12.2.5.4.4. 156 occupants x .22 = 34.33"
 - Aisle markings. NFPA 101 12.2.5.6.10.1
 - Emergency lighting NFPA 101 12.2.9
 - Stage area construction. NFPA 101 12.4.6.3
 - Projection rooms. NFPA 10112.4.7 No longer functions as projection room.
 - Separation ceiling rating two second floor apartments. NFPA 101 Chapter 8
 - All separations and repairs need to be complete and all penetrations throughout need to be sealed.
- Second and third floor Apartments
- Doors - NFPA 101 30.3.6.1.2 Based on building being sprinklered. Doors to apartments shall be not less than 20-minute rating
 - Door closers. NFPA 101 30.3.6.2.3
 - Egress and exiting building shall comply with NFPA 101 Chapter 30
 - Emergency lighting and exit signage throughout structure.
 - All separations and repairs need to be completed and all penetrations throughout need to be sealed.
 - All electrical work shall be performed by a WV Licensed Electrician
 - All sprinkler work shall be performed by WV Licensed Sprinkler Worker.
 - All HVAC work shall WV licensed.
 - All Alarm System work shall be performed by WV Licensed Worker

Minimum Egress Corridor width: 44"

Occupant Load:

Max. Floor Area per occupant:

1st Floor =	2435 sf (incl stair C)	226 total max. persons incl. staff
Mezz Office =	232 sf / 100 =	3
Mezz Other =	400 sf / 15 =	27
2d Floor =	1772 sf / 200 =	9
3d Floor =	1200 sf / 200 =	6
Totals =		271 people

First Floor # Exits Required: 2

Exit Width required: .3" per person exit width x 226 occupants = 76.8"
 Actual Provided: 36" wide near stage, 36" wide from backstage,
 (2) 34" wide at main entry from street

Restroom Requirements:
 241 occupants / 75 = 3.21 or 4 unisex bathrooms
 3 bathrooms provided on first floor (1 ADA compliant), 1 bathroom on mezzanine

ADA Requirements: yes (1) accessible/family bathroom provided

LIST OF DRAWINGS

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- A1.2 Site Plan
- A1.3 Specifications
- A2.1 Demolition Plans
- A2.2 Construction Plans
- A2.3 Reflected Ceiling Plans
- A2.4 Furniture, Finish & Equipment Plan
- A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A3.3 Building Sections, Stair Sections
- A4.1 Interior Elevations
- A4.2 Interior Elevations
- A5.1 Door & Window Schedules
- A5.2 Finish Schedule, Details & Partition Types
- A6.1 Interior Details
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- A6.3 Other Details

STRUCTURAL

- S.1 Foundation & Mezzanine Plans
- S.2 Second, Third & Roof Framing Plans
- S.3 Building Section
- S.4 Details
- S.5 Notes

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- M1.1 MAIN LEVEL & MEZZANINE PLANS
- M1.2 SECOND & THIRD LEVEL PLANS
- M2.1 ENLARGED PARTIAL PLANS
- M3.1 VRV PIPING AND WIRING DIAGRAMS
- M4.1 DETAILS & SCHEDULES

PLUMBING

- P0.1 FIXTURE SCHEDULE & SYMBOLS
- P0.2 SPECIFICATIONS
- P1.1 MAIN LEVEL & MEZZANINE FLOOR PLANS
- P1.2 2ND & 3RD FLOOR PLANS
- P2.1 RISER DIAGRAMS
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ELECTRICAL

- E0.1 SCHEDULES, SPECIFICATIONS & NOTES
- E1.1 MAIN LEVEL & MEZZANINE FLOOR PLANS
- E1.2 2ND & 3RD FLOOR PLANS
- E2.1 DETAILS & SCHEDULES

FULLY SPRINKLERED BUILDING

NORTH (building)

Shepherdstown Opera House RENOVATIONS

131 W. German St.
 Shepherdstown
 West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

FHC Engineering, PC
 4 Weems Lane #277
 Winchester, VA 22601
 540 247-2939

Structural Engineer

Ruckman Engineering, PLC
 22-B Ricketts Drive
 Winchester, VA 22601

Grove & Dall'Olio Architects pllc
 Matthew W. Grove
 122 Migration Lane, Shepherdstown, WV 25420, 304-267-2120
 18 West Bowcove Street, Winchester, VA 22601, 540-773-2328

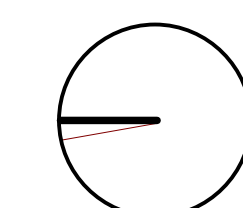
Issue/Revision: 6/4/20 Issued to WV Fire Marshal, 6/22/20 Issued for bid, 10/23/20 For Construction

Scale: As Noted, Project Number: 20820, Drawing Number

Notes, Legend, List of Drawings

FOR CONSTRUCTION 10/23/20

A1.1



NORTH (building)

Shepherdstown Opera House RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

131 West
German LLC

FULLY SPRINKLERED BUILDING

Owner

Mech/Elect Engineer

FHC Engineering, PC
4 Weems Lane #277
Winchester, VA 22601
540 247-2939

Structural Engineer

Ruckman Engineering, PLC
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Winchester, VA 22601

GDA Architecture
Planning
Interiors
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Grove & Dall'Olio Architects pllc
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Matthew W. Grove | matthew@gdausa.com • GDAusa.com
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18 West Bowcove Street
Winchester, VA 22601
540-773-2128

Issue/Revision Scale

6/4/20 Issued to WV Fire Marshal

6/22/20 Issued for bid

10/23/20 For Construction

07/19/21 Storm water piping

10/20/21 Water pip

Drawing Title

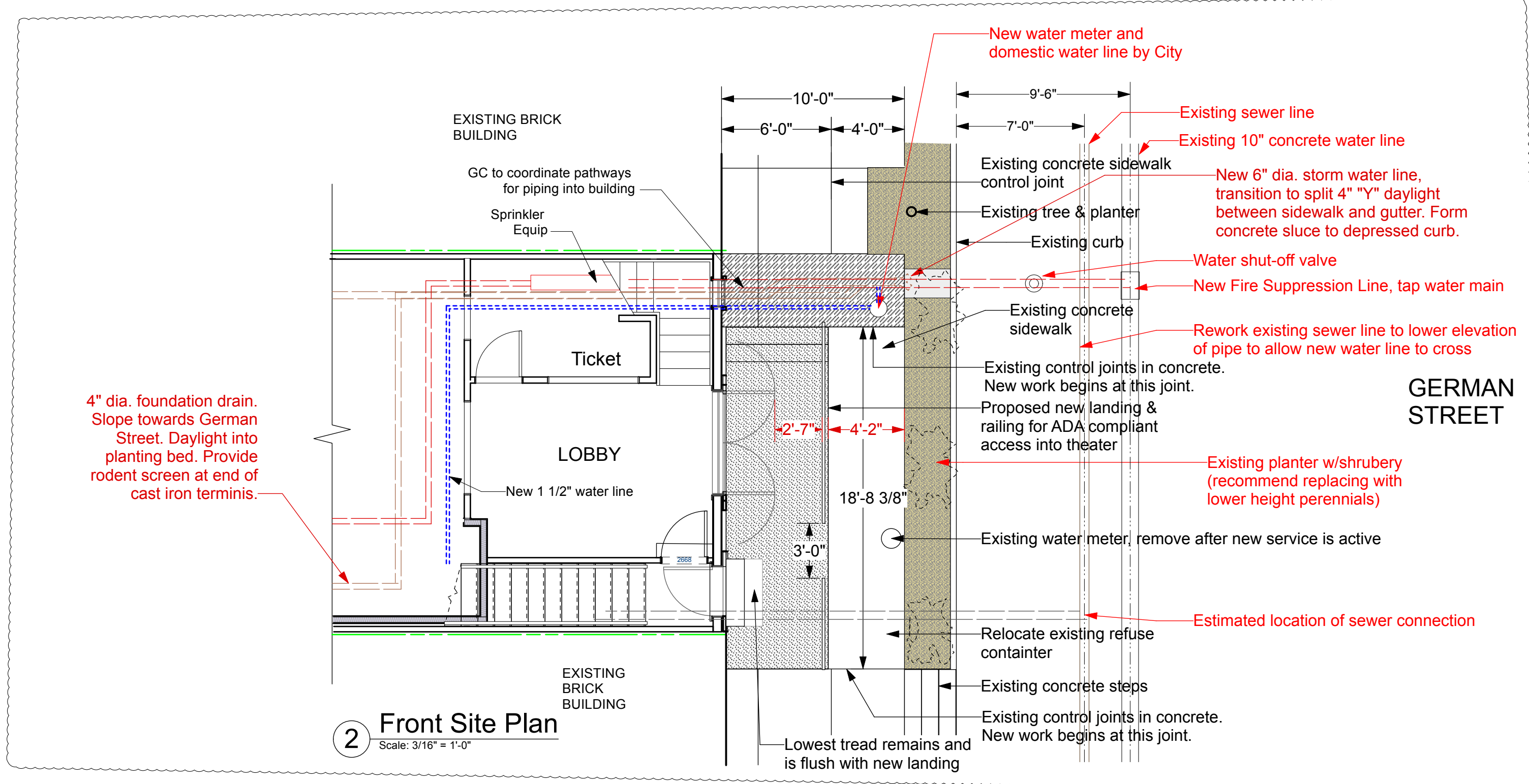
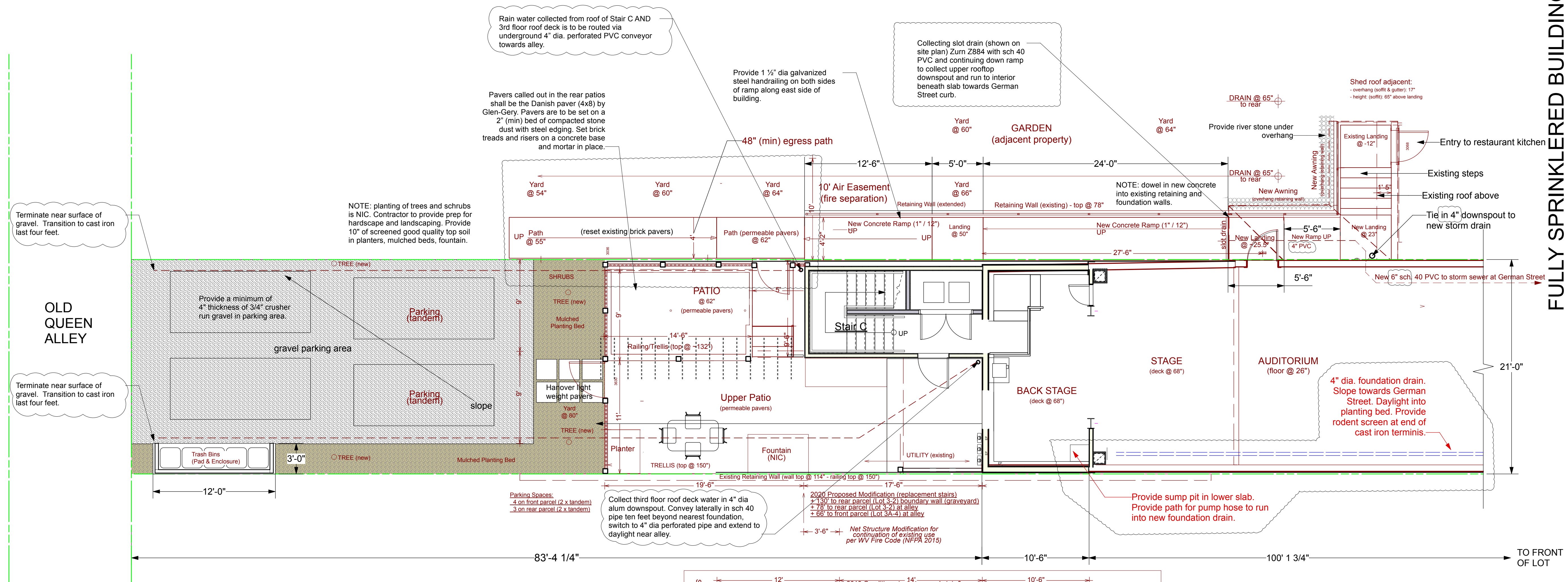
Site Plans

Date May 28, 2020

Scale As Noted

Drawing Number Project Number 20820

A1.2



2.0 SITEWORK

2.1 EARTHWORK - Perform earthwork, excavating, and trenching for laying pipe, installing new utilities, grading, landscaping, prepping for new concrete slabs and foundations per the construction drawings.

2.2 DRAINAGE - Provide materials, labor, equipment and services necessary to furnish, deliver and install interior building perimeter drainage system including drainage board, filter aggregate, fabric and bedding.

A. Lay pipe to slope gradients noted on Drawings; with maximum variation from true slope of 1/8 inch in 1 foot. B. Bed pipe with perforations facing down. Mechanically join pipe ends.

3.0 CONCRETE See Structural Specifications, and construction drawings. Provide/install sealant on concrete slabs.

4.0 MASONRY See Structural Specifications, and construction drawings. Provide/install sealant on concrete block.

5.0 METALS See Structural Specifications, and construction drawings. 5.1 EXTERIOR HANDRAILING - Weld and paint all handrail and ballusters shown on the drawings.

5.2 MISC. METALS - Provide handrail hardware, thresholds, countertops and other misc. metal items.

6.0 WOOD & PLASTICS See Structural Specifications, and construction drawings. 6.1 CABINETRY - See interior elevations for images of cabinetry. Provide shop painted shaker style recessed panel fronts, drawer and door pulls, soft close drawers and doors.

6.2 COUNTER TOPS - Provide solid surface countertops/backsplashes at kitchens and bathrooms by Formica.

6.3 FINISH CARPENTRY - All new door frames, framed openings, baseboard, wall trim and other miscellaneous finish carpentry to be painted shall be made of select quality clear pine or poplar stock or an approved equal.

6.4 HANDRAILS - Provide and install round maple, stained handrails with brown or black brackets. Provide blocking in walls for new handrailing.

6.5 BEADED BOARD - Provide and install 3/8" thick x 3 1/2" wide pine or fir tongue & groove beaded board as shown on the drawings.

6.6 FENCING & DECKING - Provide and install Seclusions fence and Enhance decking systems by Trex. Install Trex material for sleepers beneath the roof decking in a manner that allows for roof drainage.

7.0 INSULATION/ROOFING

7.1 Batts should be Certainteed fiberglass or approved equal, paper faced. Insulation shall be installed according to manufacturer's recommendations to provide an R-value of 38 at all uppermost ceilings except where rafter depth limits the depth.

7.2 Provide rigid extruded polystyrene insulation under concrete slabs and in walls as called for.

7.3 Provide damproofing on the exterior face of foundation walls. Seal foundation walls with dimple board plastic waterproofing sheets.

7.4 Provide and install moisture barrier beneath interior concrete slabs and in new partitions.

7.5 Gutters & Downspouts: Provide & install custom run 24 gauge galvanized aluminum gutters, downspouts, gutter guards and appurtenances.

7.6 Siding A. Siding at new Stair C and other new additions to the building shall be fiber cement lap siding. Siding shall be smooth, 4" exposure and factory primed.

7.7 Provide sealants for all interior and exterior conditions for locations that may allow moisture to enter the building. Colors of sealants shall be selected by the Architect.

7.8 Provide fire rated sealants for locations where pipe and conduits pass through fire rated construction.

7.9 Metal Roofing: Install 24 gauge natural finished galvanized aluminum roofing w/ one inch high standing seam roof on 3/4" ext. grade plywood & 30# felt. Provide 18" wide pans.

7.10 EPDM Roofing: Furnish Sure-Seal 060 inch thick EPDM (or TPO) in the largest sheet possible. The membrane shall conform to the minimum physical properties of ASTM D4637.

8.0 DOORS & WINDOWS

8.1 WOOD DOORS - shall be of pre-primed solid paint grade doors by Simpson Door Co. Heights and widths of doors shall be as indicated on plans and elevations.

8.2 WINDOW UNITS - Units shall be the Ultimate as manufactured by Marvin. The exterior and interior finish shall be White with white hardware.

8.3 HARDWARE - Provide all miscellaneous hardware and appurtenances to compliment and complete the installation of the following hardware sets:

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #1 - Stair A Entry and Hardware Set #2 - Theater Entry Pair of Doors.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #3 - Stair A - Lobby and Hardware Set #4 - Janitor's Closet.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #5 - Knob Set and Hardware Set #5A - Same as 5 except substitute Passage Set 5000 for Privacy.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #6 - Privacy Toilet and Hardware Set #7 - Auditorium Entry.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #8 - Auditorium Exit and Hardware Set #9 - Stage Exit.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #10 - Stage Loading and Hardware Set #11 - HVAC Closet Pair of Doors.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #12 - Apartment Entry and Hardware Set #13 - Apartment Entry.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #14 - Communicating Corridor and Hardware Set #15 - Laundry Room.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #16 - Pocket Door Bedroom and Hardware Set #17 - Bi-fold Pair of Doors.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #18 - Barn/Rolling and Hardware Set #19 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #20 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #21 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #22 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #23 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #24 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #25 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #26 - Bathroom.

Table with 5 columns: QTY., Description, Manufacturer, Model #, Finish. Includes Hardware Set #27 - Bathroom.

8.4 HOLLOW METAL DOORS & FRAMES

A. Metal: best quality American Open Hearth sheet metal furniture stock, cold rolled, full pickled, annealed, stretcher leveled and free from scale, blisters, pits and other defects, conforming to ASTM A-366 for door and hot rolled prime quality carbon steel for frames.

8.5 ROOF HATCH - Bilco skylight roof hatch GS-50TB. Provide necessary rough-in framing, flashing and sealants to complete installation.

8.6 LEADED GLASS WINDOW - Replicate leaded glass window sash and glazing (Unit 1S1). Use existing leaded windows above entry doors serve as a reference to size and detail of diamond pattern.

9.0 FINISHES:

9.1 RESILIENT FLOORING - Linoleum Sheet Flooring: LinoArt™ with NATURCote™ II manufactured by Armstrong World Industries, Inc. The product shall consist of a polyurethane-coated homogeneous mixture of linoleum cement (linseed oil, natural tree resins, drying oil catalysts), wood flour, limestone, color pigments mixed and calendered onto a jute fabric backing.

9.2 PORCELAIN FLOOR TILE - Tile for theater lounge, lobby and bathrooms shall be Merrill Landing by Trinity Tile. Color: Fauna Size: 4 x 48 laid in a random pattern as wood flooring would be.

9.3 PORCELAIN WALL TILE - Submit samples of tile and grout for selection by the Architect. Install all units level and true with joints uniform in width and accurately aligned.

9.4 WOOD FLOOR - 3/4" thick White Oak Live Sawed 3 1/4" wide plank flooring by Allegheny Mountain Hardwood Flooring. See pattern on FFE floor plans. Provide white oak panels permanently attached to the 4-seat standards AND a second interchangeable floor panel without seating.

9.5 GYPSUM DRYWALL - All GWB shall be both glued and screwed - nails are not to be used to hold boards in place before screwing.

9.6 PAINTING: Prior to painting, the surfaces shall be wiped down with a damp cloth. All surfaces to be painted shall receive one coat primer and two finish coats (Sherwin Williams or approved equal).

A. Paint materials shall conform to the restrictions of the local Environmental and Toxic Control jurisdiction. 1. Volatile Organic Compounds (VOC): VOC content of paint materials shall not exceed 10g/l for interior latex paints/primers and 50g/l for exterior latex paints and primers.

10.0 SPECIALTIES 10.1 BATH ACCESSORIES - Owner will provide and Contractor will install the following: Towel bars, towel hoops, bathroom mirrors, toilet paper holders, and grab bars at master shower.

10.2 TEMPERED GLASS BATH/SHOWER DOORS - Provide and install Bosco Coppia frameless 3/8" clear swinging glass shower doors or Bosco Rotepol 3/8" semi-frameless sliding shower door as shown on plans.

10.3 LIGHT BEAM FABRIC - Trapeze Plus, color: Titanium, by Dazian (dazian.com).

10.4 FIRE EXTINGUISHER CABINETS - Provide and install 5 semi-recessed unit in Rooms 101, 105, M03, 204 & 3rd Flr Stair B. Provide Kidde 468046.

14.0 LIFTS - Shall be the Garaventa Genesis Shaftway GLV-SW-42, 90° entry/exit, large platform 42"x60", hydraulic drive system. Lower level entry shall be 41 1/8"x80" non rated door with power operator and frosted tempered glass panel.

FULLY SPRINKLERED BUILDING

NORTH (building)

Shepherdstown Opera House RENOVATIONS

131 W. German St. Shepherdstown West Virginia

131 West German LLC

Mech/Elect Engineer

FHC Engineering, PC 4 Weems Lane #277 Winchester, VA 22601 540 247-2939

Structural Engineer

Ruckman Engineering, PLC 22-B Ricketts Drive Winchester, VA 22601

GDA Architecture Planning Interiors Landscape logo and contact information for Matthew W. Grove.

Issue/Revision table with 2 columns and 4 rows, and a circular professional seal for Matthew W. Grove, No. 2616, State of West Virginia.

Specifications

Date: May 28, 2020 Scale: As Noted Project Number: 20820 Drawing Number:

A1.3

Shepherdstown Opera House

RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

Owner

131 West
German LLC

Mech/Elect Engineer

FHC Engineering, PC
4 Weems Lane # 277
Winchester, VA 22601
540 247-2939

Structural Engineer

Ruckman Engineering, PLC
22-B Ricketts Drive
Winchester, VA 22601

GDA Architecture
Planning
Interiors
Landscape
Grove & Dall'Olio Architects pllc
AIA, LEED AP
Matthew W. Grove | mthw@GDAaia.com • GDAaia.com
122 Migration Lane, | 18 West Bowcock Street
Shepherdstown, WV 25420 | Winchester, VA 22601
304-267-2120 | 540-773-2128

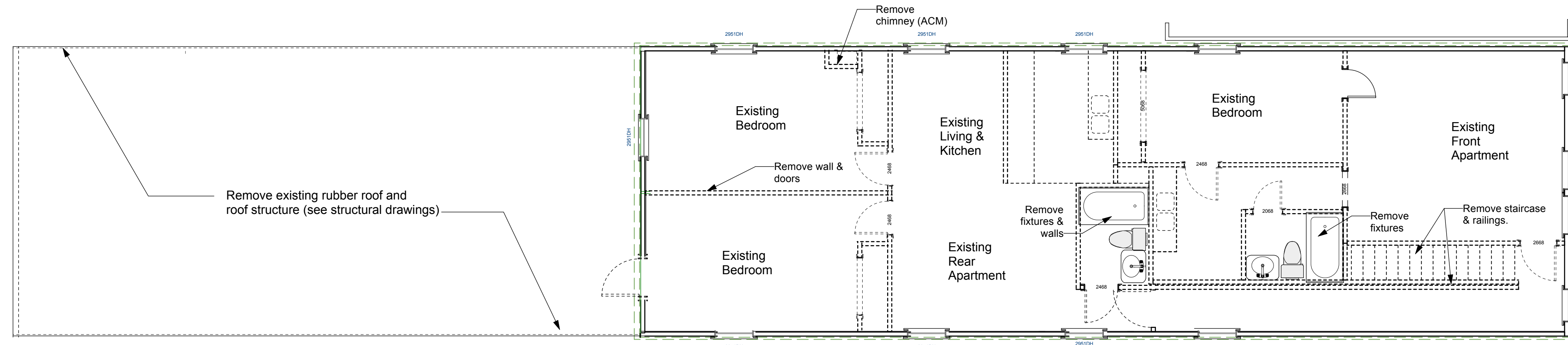
Issue/Revision | Scale
6/4/20 Issued to WV Fire Marshal
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10/23/20 For Construction
02/25/21 General Revisions
10/20/21 General Revisions



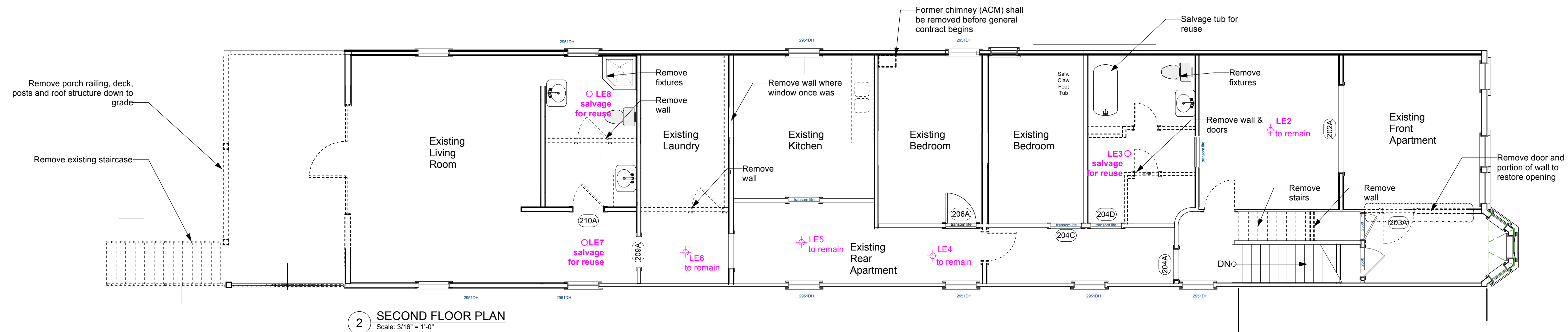
Demolition Floor Plans

Date: May 28, 2020
Scale: As Noted
Project Number: 20820
Drawing Number

A2.1



3 THIRD FLOOR PLAN
Scale: 3/16" = 1'-0"

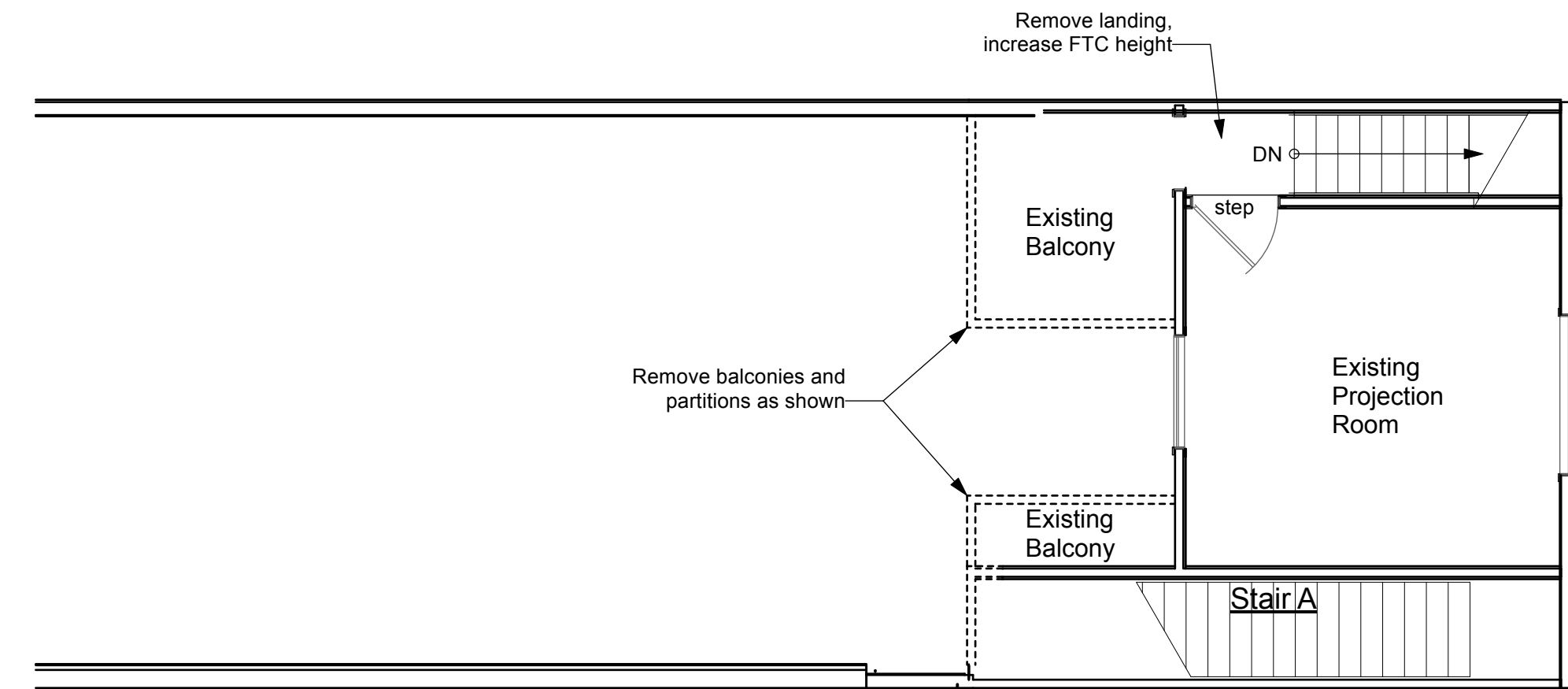


2 SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

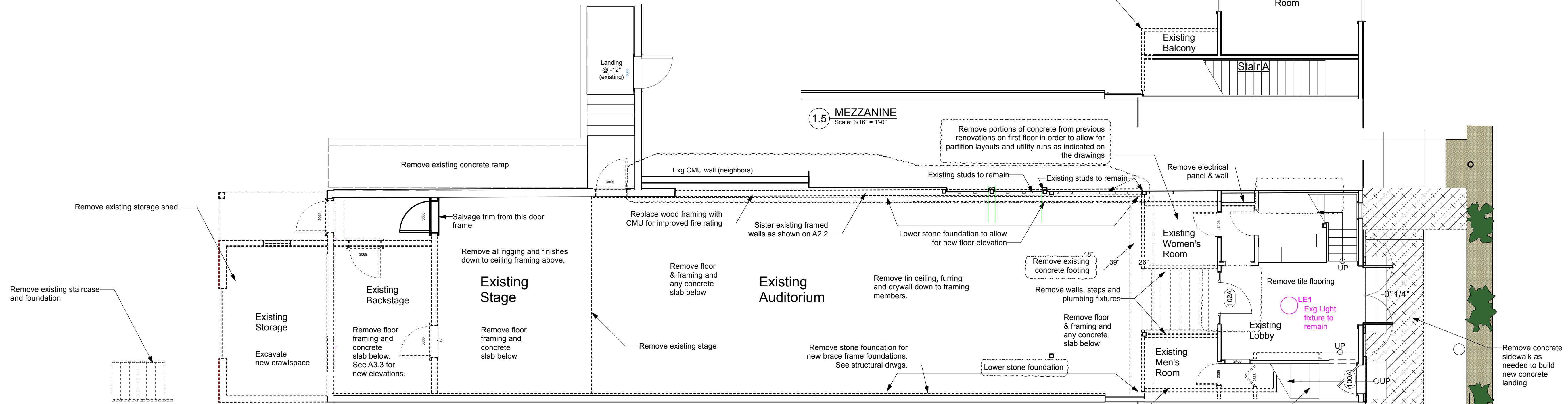
DEMOLITION NOTES

1. Majority 3d floor drywall and beaded board has been removed. What has been detached from third and first floor walls shall be removed from the premises along with other drywall and plaster that has been called for removal by the General Contractor.

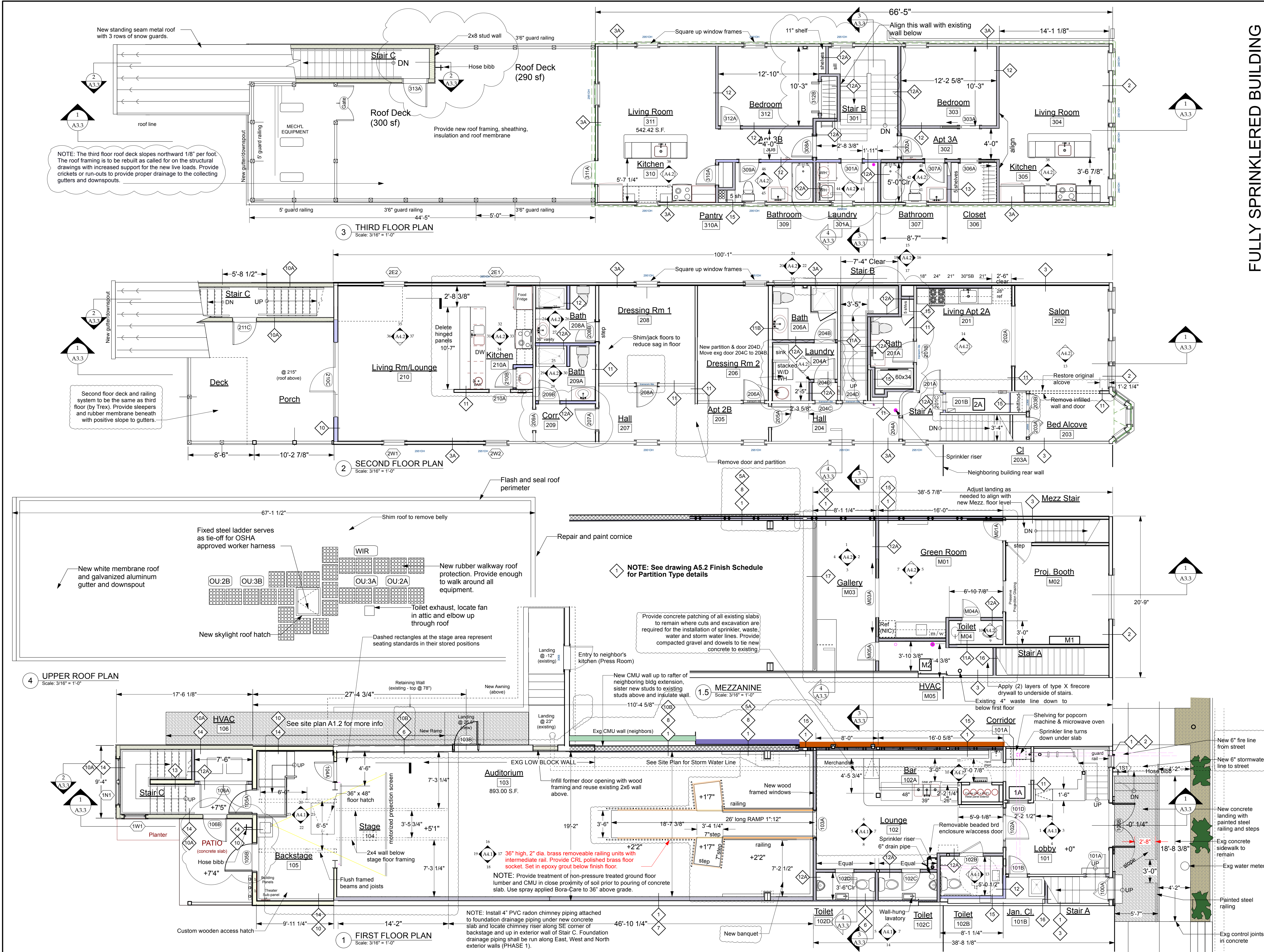
2. The Contractor shall provide a separate dumpster for lumber which will be delivered to a local (Jefferson County) processing facility that grinds unpainted waste lumber (with metal fasteners) for horse bedding at the nearby race track.



1.5 MEZZANINE
Scale: 3/16" = 1'-0"



1 FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"



NOTE: The third floor roof deck slopes northward 1/8" per foot. The roof framing is to be rebuilt as called for on the structural drawings with increased support for the new live loads. Provide crickets or run-outs to provide proper drainage to the collecting gutters and downspouts.

Second floor deck and railing system to be the same as third floor (by Trex). Provide sleepers and rubber membrane beneath with positive slope to gutters.

NOTE: See drawing A5.2 Finish Schedule for Partition Type details

Provide concrete patching of all existing slabs to remain where cuts and excavation are required for the installation of sprinkler, waste, water and storm water lines. Provide compacted gravel and dowels to tie new concrete to existing.

NOTE: Provide treatment of non-pressure treated ground floor lumber and CMU in close proximity of soil prior to pouring of concrete slab. Use spray applied Bora-Care to 36" above grade.

NOTE: Install 4" PVC radon chimney piping attached to foundation drainage piping under new concrete slab and locate chimney riser along SE corner of backstage and up in exterior wall of Stair C. Foundation drainage piping shall be run along East, West and North exterior walls (PHASE 1).

New 6" fire line from street
New 6" stormwater line to street
New concrete landing with painted steel railing and steps
Exg concrete sidewalk to remain
Exg water meter
Painted steel railing
Exg control joints in concrete

Shepherdstown Opera House RENOVATIONS

131 W. German St. Shepherdstown West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

FHC Engineering, PC
4 Weems Lane #277
Winchester, VA 22601
540 247-2939

Structural Engineer

Ruckman Engineering, PLC
22-B Ricketts Drive
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125 Migration Lane, Conradstown, WV 25420 304-267-2120
18 West Bowcock Street, Winchester, VA 22601 540-773-2328

Issue/Revision Scale

6/4/20 Issued to WV Fire Marshal

6/22/20 Issued for bid

10/23/20 For Construction

02/25/21 General Revisions

10/20/21 General Revisions

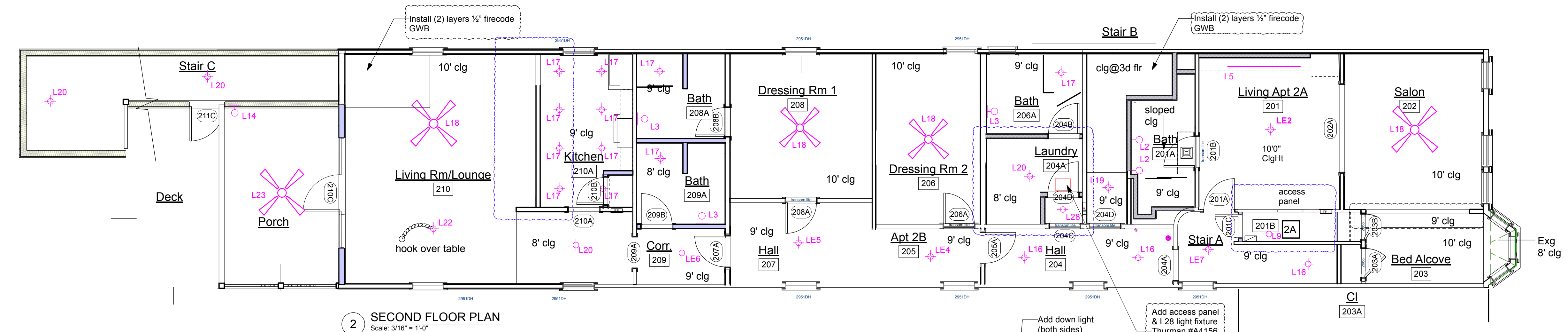
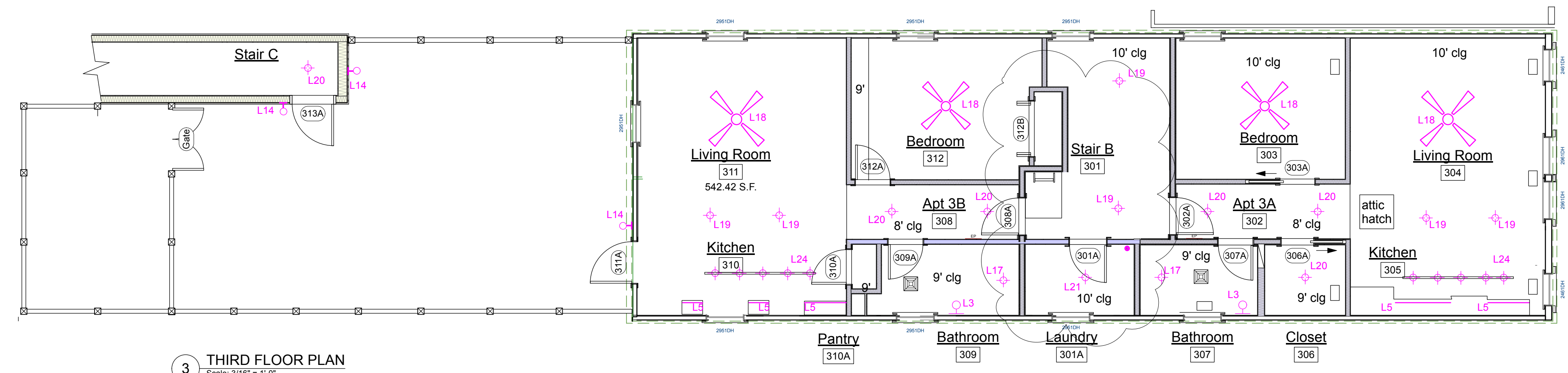
Drawing Title

STATE OF WEST VIRGINIA
MATTHEW W. GROVE
NO. 2616
REGISTERED ARCHITECT

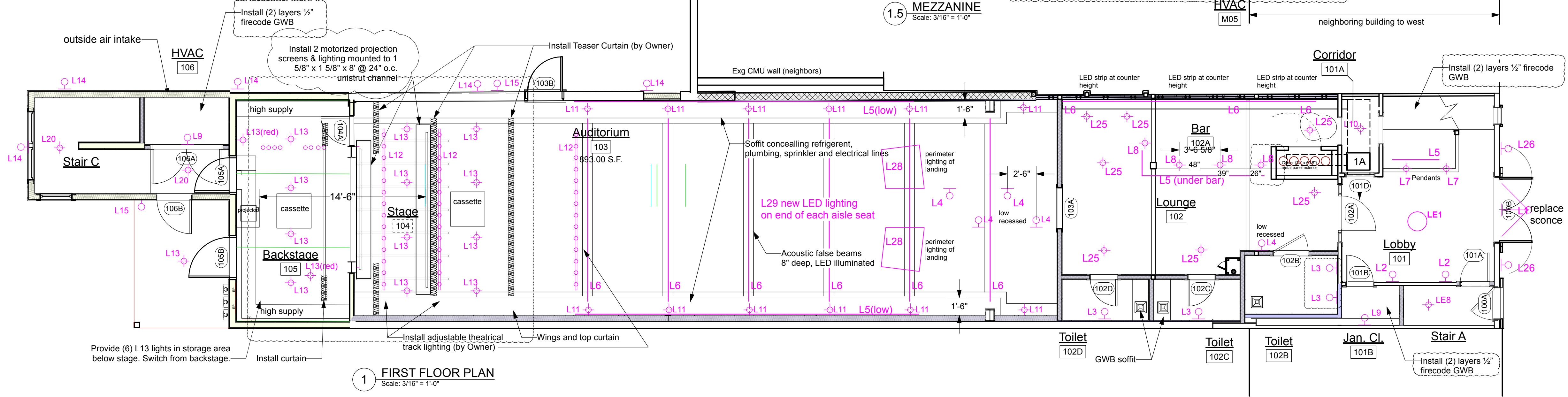
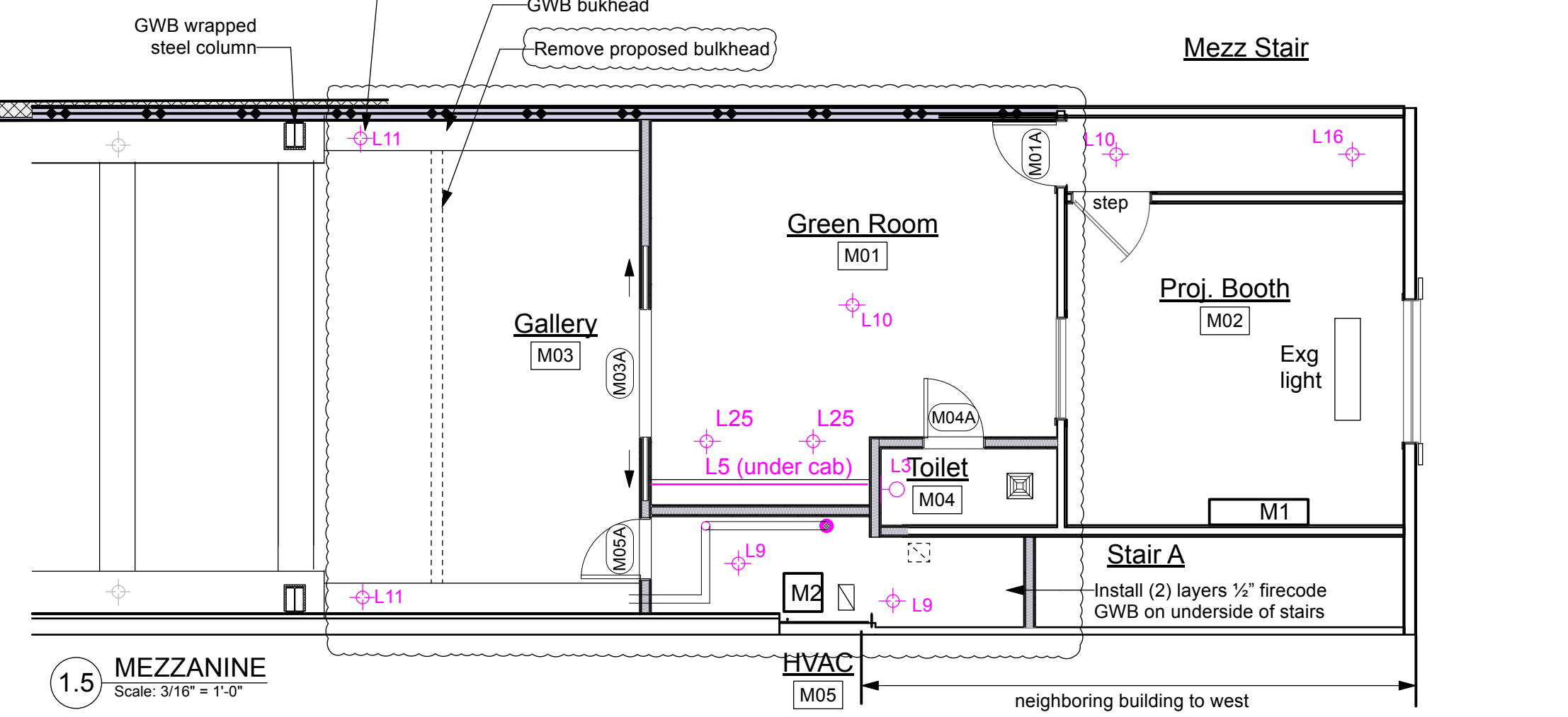
RCP Floor Plans

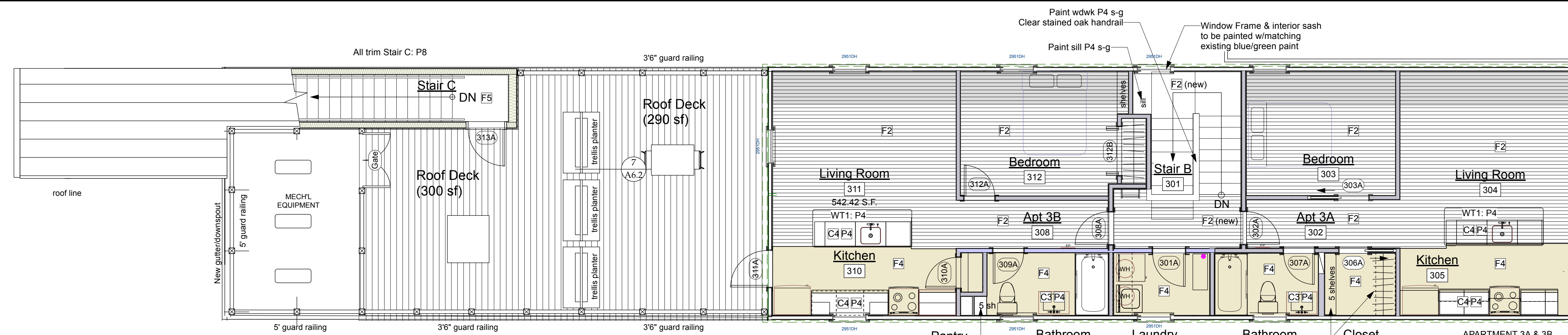
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Scale: As Noted Project Number: 20820
Drawing Number

A2.3

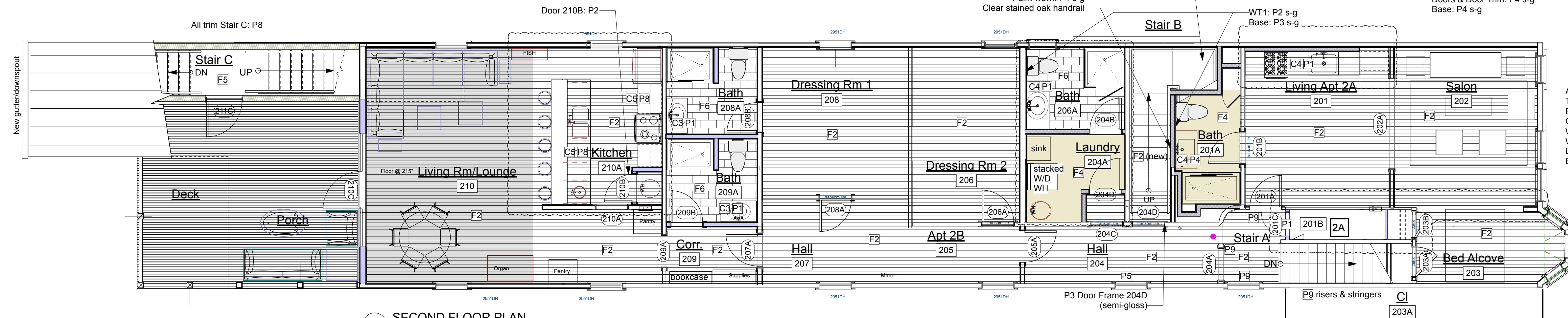


NOTE: Install (2) layers 1/2" firecode gypsum drywall (min) to underside and exposed sides of existing and new staircases. At all locations where stairs extend above occupied spaces.



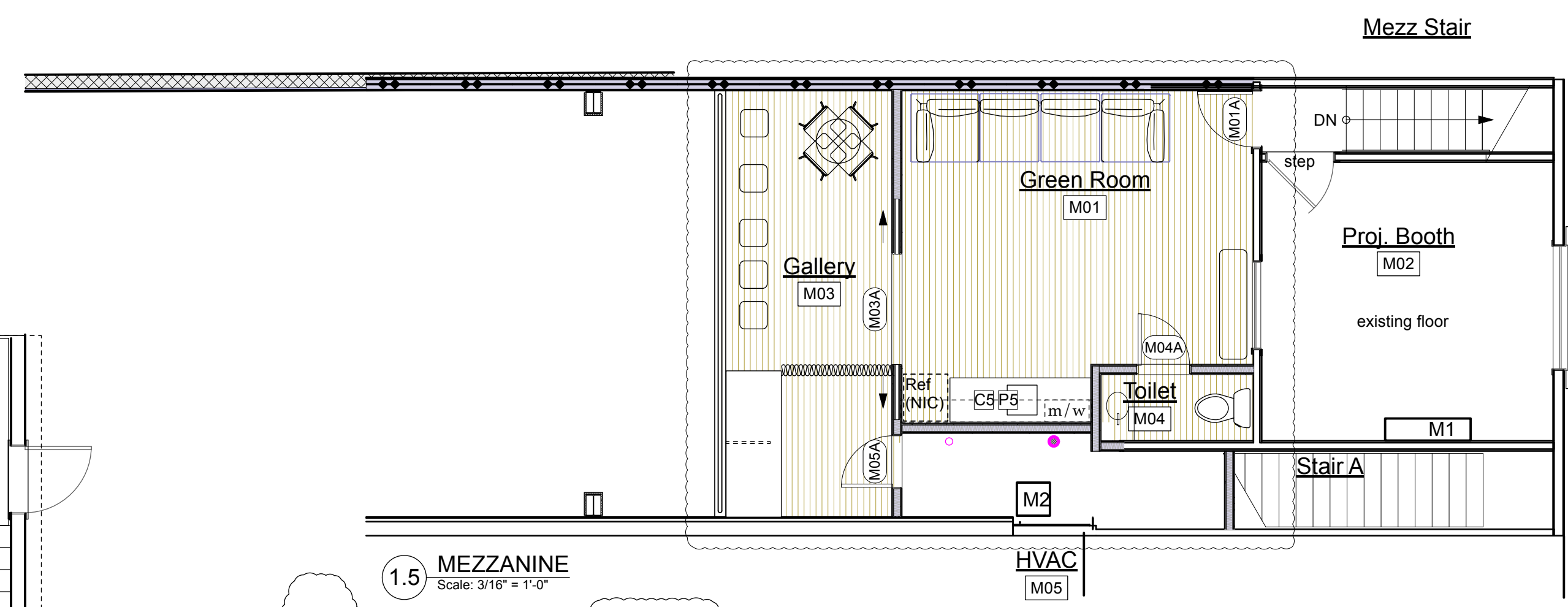


3 THIRD FLOOR PLAN
Scale: 3/16" = 1'-0"

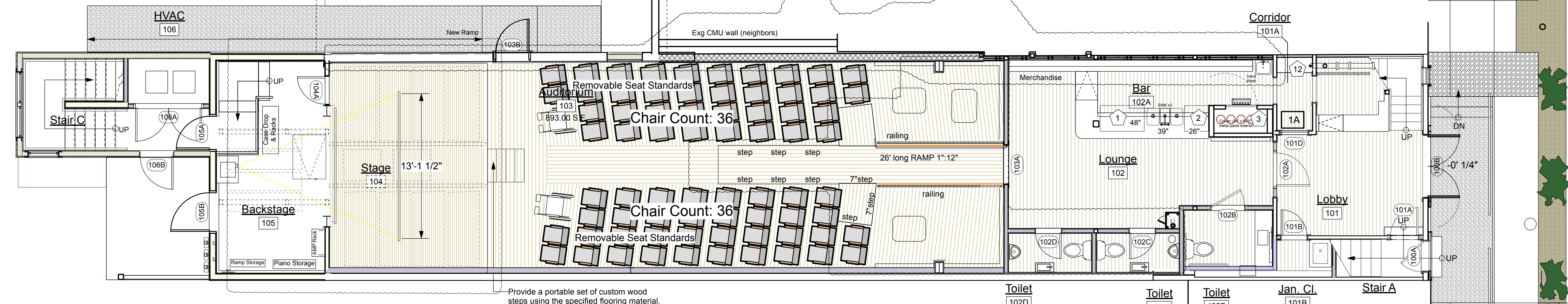


2 SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

No.	Description	Manufacturer	Model Number	Power	Remarks
1	Beverage Cooler	Perlick	BC48RTRT-SS EXT 48"	115V, 1/4 hp	Uses R-134a refrigerant;
2	Ice Machine	Manitowoc	URF0140A-161B	NEMA 5-15P plug	Provide 3/8" water line, 26" w 28 1/2" d 38 1/2" h
3	Walk-in-Cooler	American W/C	WSF - Custom 54"x36"x92"		Remote cooling unit (roof)
4	Range/Oven	Whirlpool	WEE51550LZ	4-wire (14-50R)	Self Cleaning - one piece slide in
5	Dishwasher	Whirlpool	#WD1705PAKZ	120v	
6	Microwave/hood	Whirlpool	#WMH31017HZ	120 v, 15 amp	Ducted exhaust to exterior
7	Refrigerator	Whirlpool	#WRS588FHHZ	120 v, 15 amp	with ice-maker
8	Disposal	InSinkErator	Badger 1/3 hp	120 v, 15 amp	
9	Small Refrigerator	GE	GIE19JUNRSS - IM4D	115v, 15 amp	30" w x 35" d x 66 3/8", with ice-maker
10	Small Dishwasher	Whirlpool	WDF518SAHM	Stainless Steel	
11	Small Range/oven	Whirlpool	WFE500M4HS	4-wire (14-50R)	Self-Cleaning
12	Small Microwave	Whirlpool	WMC50522HZ	120 v, 15 amp	
13	Washer/Dryer Combo	GE	GUD27ESSMWW	120/240V, 30 amp	Top Load Washer/front load dryer
14	Washer	Whirlpool	WTW4816FW	120v, 15 amps	Vented Dryer to exterior
15	Dryer	Whirlpool	WED4815EW	240v, 30 amps	Vented Dryer to exterior
16	Smallest Refrigerator	IIO (Retro)	MRB192-07wWR	115v, 15 amp	22" w x 26" d x 58, bottom freezer
17	Small Microwave/Hood	Haier	HMV1472BHS	120 v, 15 amp	
18	Popcorn Machine	Carnival King	382PM50R	120 v, 15 amp	



1.5 MEZZANINE
Scale: 3/16" = 1'-0"



1 FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

- KEY**
- FLOORING**
 F1 Stained new oak flooring
 F2 Stained pine flooring
 F3 Cer. Tile Merril Lndg Fauna
 F4 Linoleum: Natural Clay by Tarkett
 F5 Rubber: Johnsonite: Storm Cloud
 F6 Cer. Tile White 6x18
- PAINT**
 P1 SW 7008 Alabaster (white)
 P2 SW 0037 Morris Room Grey
 P3 SW 0038 Library Pewter
 P4 SW 9164 Illusive Green
 P5 SW 2837 Aurora Brown
 P6 SW 0009 Castlake Gold
 P7 SW 0016 Billiard Green
 P8 SW 0055 Light French Gray
 P9 SW 2838 Polished Mahogany
- COUNTERTOP**
 C1 Stained hardwood top
 C2 Painted hardwood top
 C3 SS: Crema Terrazzo (Formica)
 C4 SS: Copper Quartz (Formica)
 C5 SS: Bottle Glass (Formica)
 C6 SS: Ebony Mosaic (Formica)
- WALL TREATMENT**
 WT1 Beaded board
 WT2 Merril Landing Fauna
 WT3 Aurora white tile
- APARTMENT 2A**
 Typ Walls: P1 flat
 Bath Walls & Clg: P1 satin
 Ceilings: P1 flat
 Window Sashes: P1 s-g
 Window Frames: P5 s-g
 Doors & Door Trim: P3 s-g
 Base: P5 s-g

FULLY SPRINKLERED BUILDING

NORTH (building)

Shepherdstown Opera House

RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

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 4 Weems Lane #277
 Winchester, VA 22601
 540 247-2939

Structural Engineer

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Issue/Revision

6/4/20 Issued to WV Fire Marshal

6/22/20 Issued for bid

10/23/20 For Construction

02/25/21 General Revisions

10/20/21 General Revisions

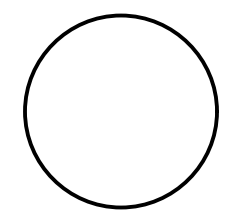
Drawing Title

STATE OF WEST VIRGINIA
 MATTHEW W. GROVE
 NO. 2616
 REGISTERED ARCHITECT

FFE Floor Plans

Date: May 28, 2020
 Scale: As Noted
 Project Number: 20820
 Drawing Number

A2.4



NORTH (building)

Shepherdstown Opera House RENOVATIONS

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Shepherdstown
West Virginia

Owner

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Issue/Revision

6/4/20	Issued to WV Fire Marshal
6/22/20	Issued for bid
10/23/20	For Construction
4/29/21	Ext Wall Rev



Drawing Title

Ext. Elevations

Date May 28, 2020

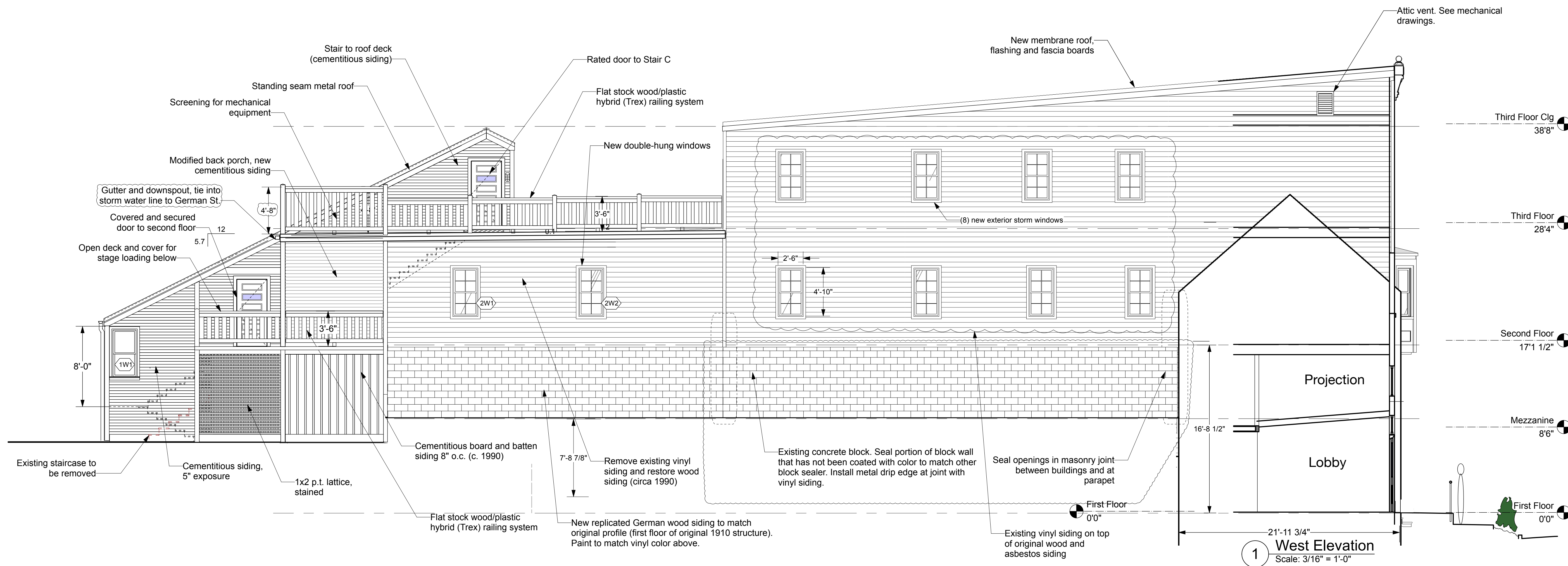
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Project Number 20820

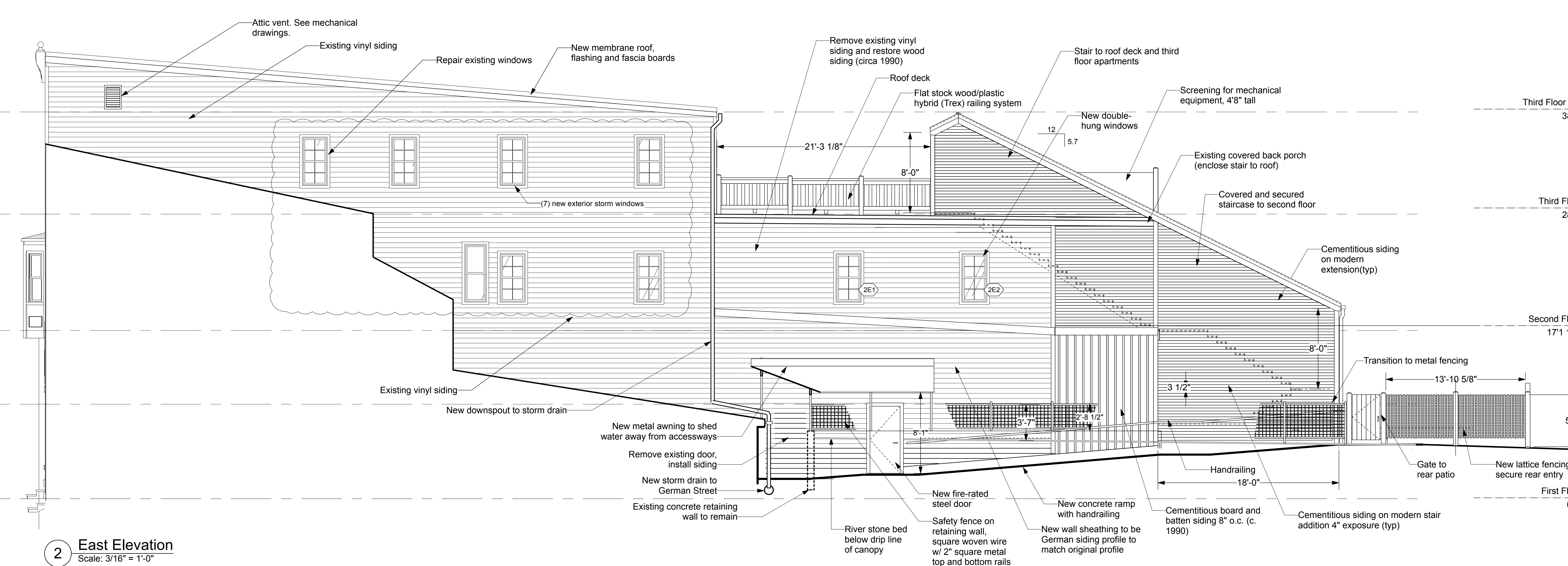
Drawing Number

A3.1

FULLY SPRINKLERED BUILDING



1 West Elevation
Scale: 3/16" = 1'-0"



2 East Elevation
Scale: 3/16" = 1'-0"

Shepherdstown Opera House

RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

FHC Engineering, PC
4 Weems Lane # 277
Winchester, VA 22601
540 247-2939

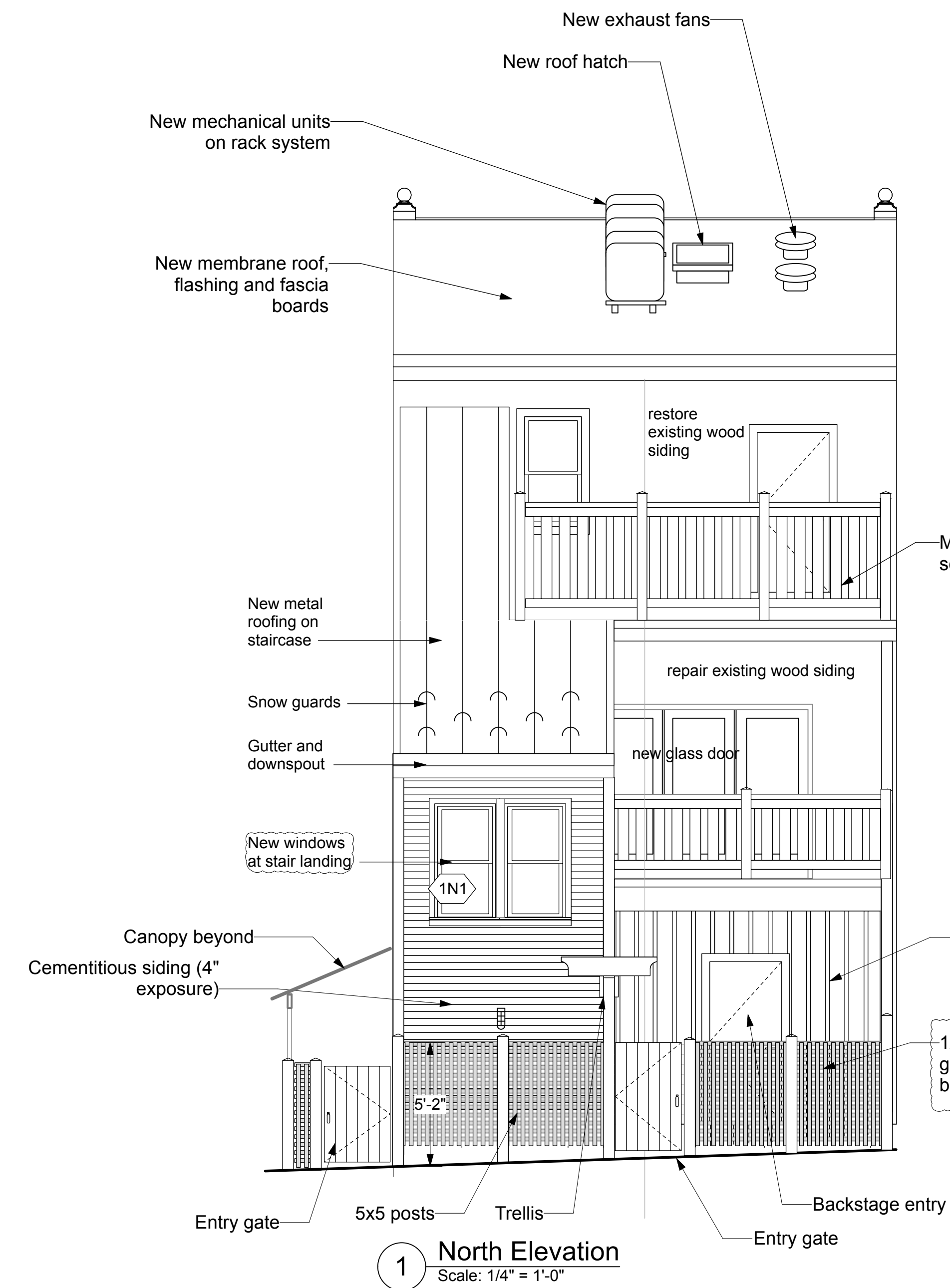
Structural Engineer

Ruckman Engineering, PLC
22-B Ricketts Drive
Winchester, VA 22601

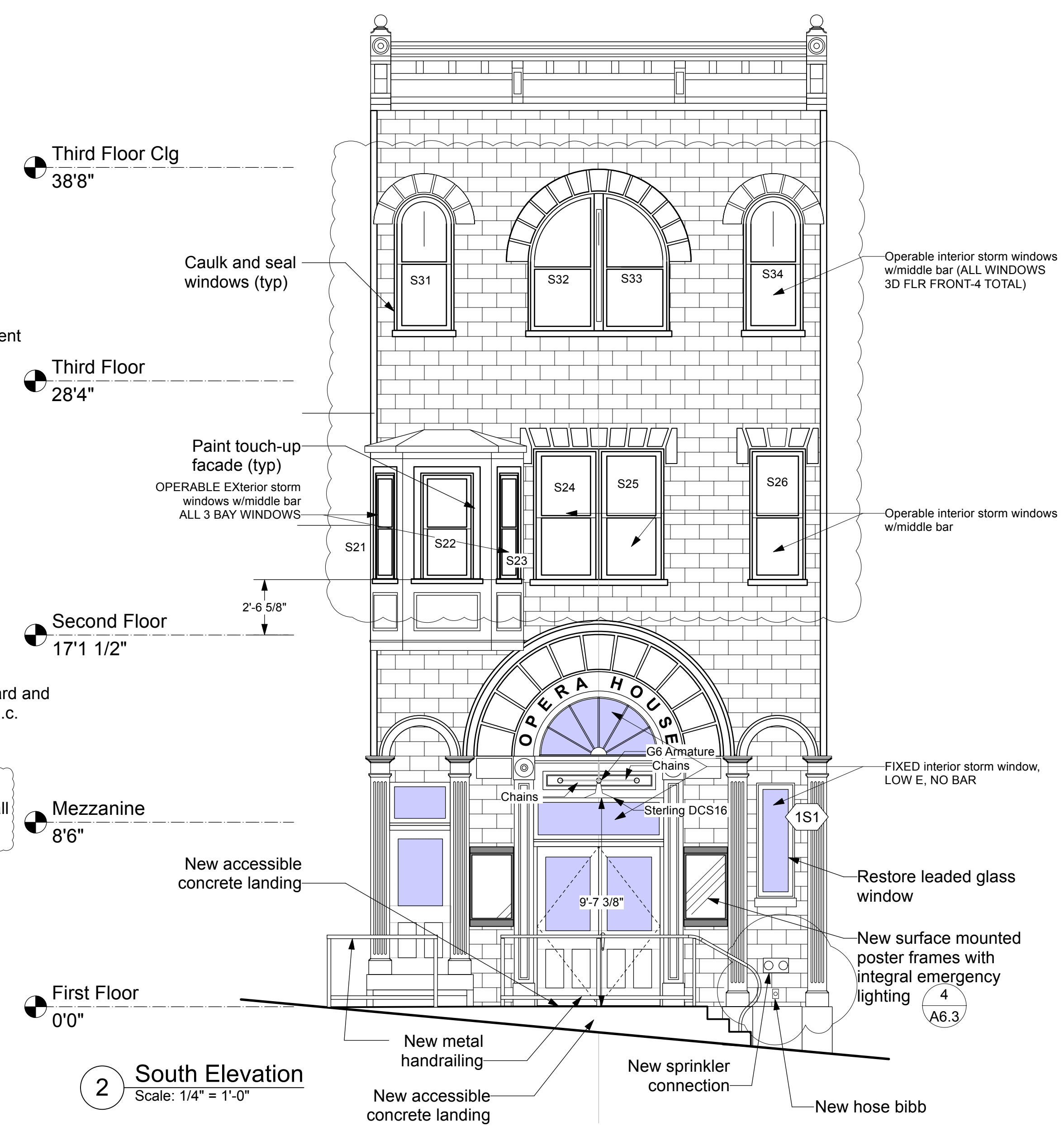
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Issue/Revision	Scale
6/4/20 Issued to WV Fire Marshal	
6/22/20 Issued for bid	
10/23/20 For Construction	
10/20/21 General Revisions	

Drawing Title



1 North Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"

Ext. Elevations

Shepherdstown Opera House

RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

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Structural Engineer

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Issue/Revision	Scale
6/4/20 Issued to WV Fire Marshal	
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10/23/20 For Construction	
02/25/21 General Revisions	
10/20/21 General Revisions	

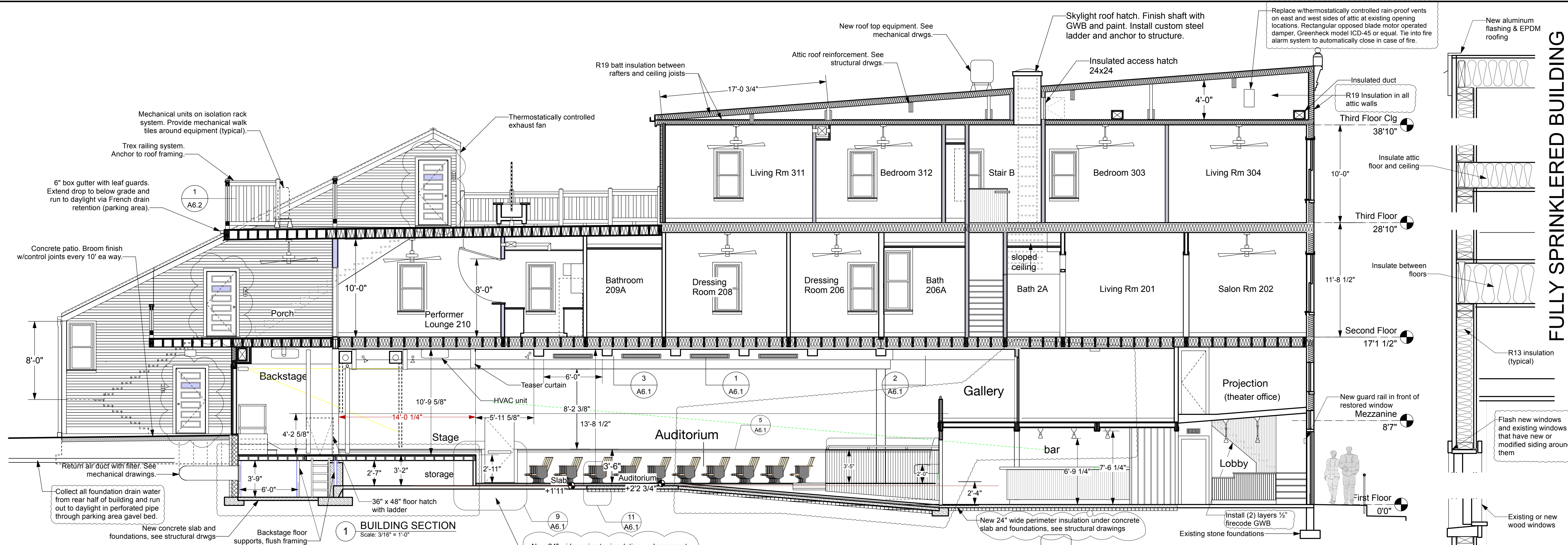
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Building & Wall Sections

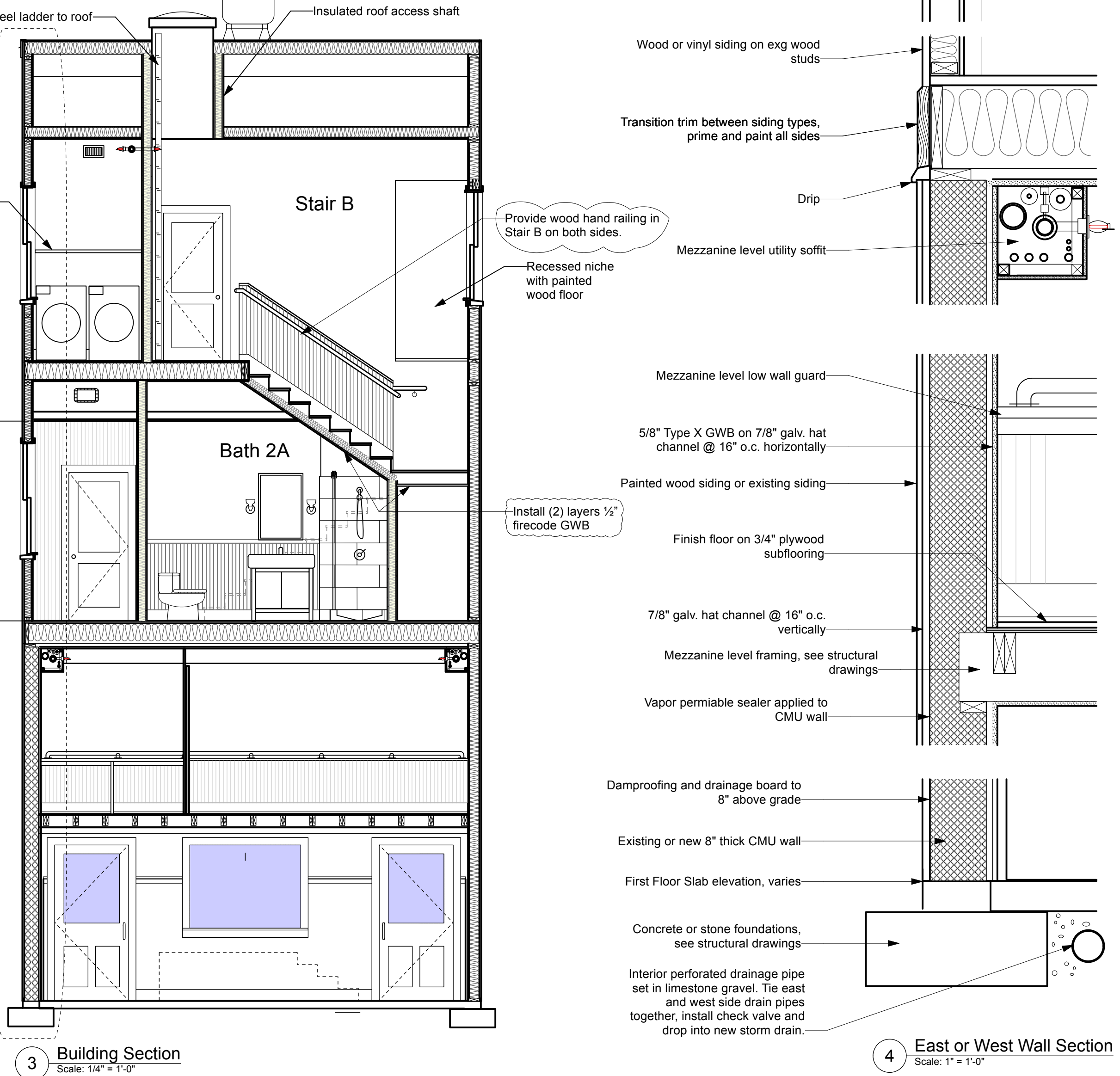
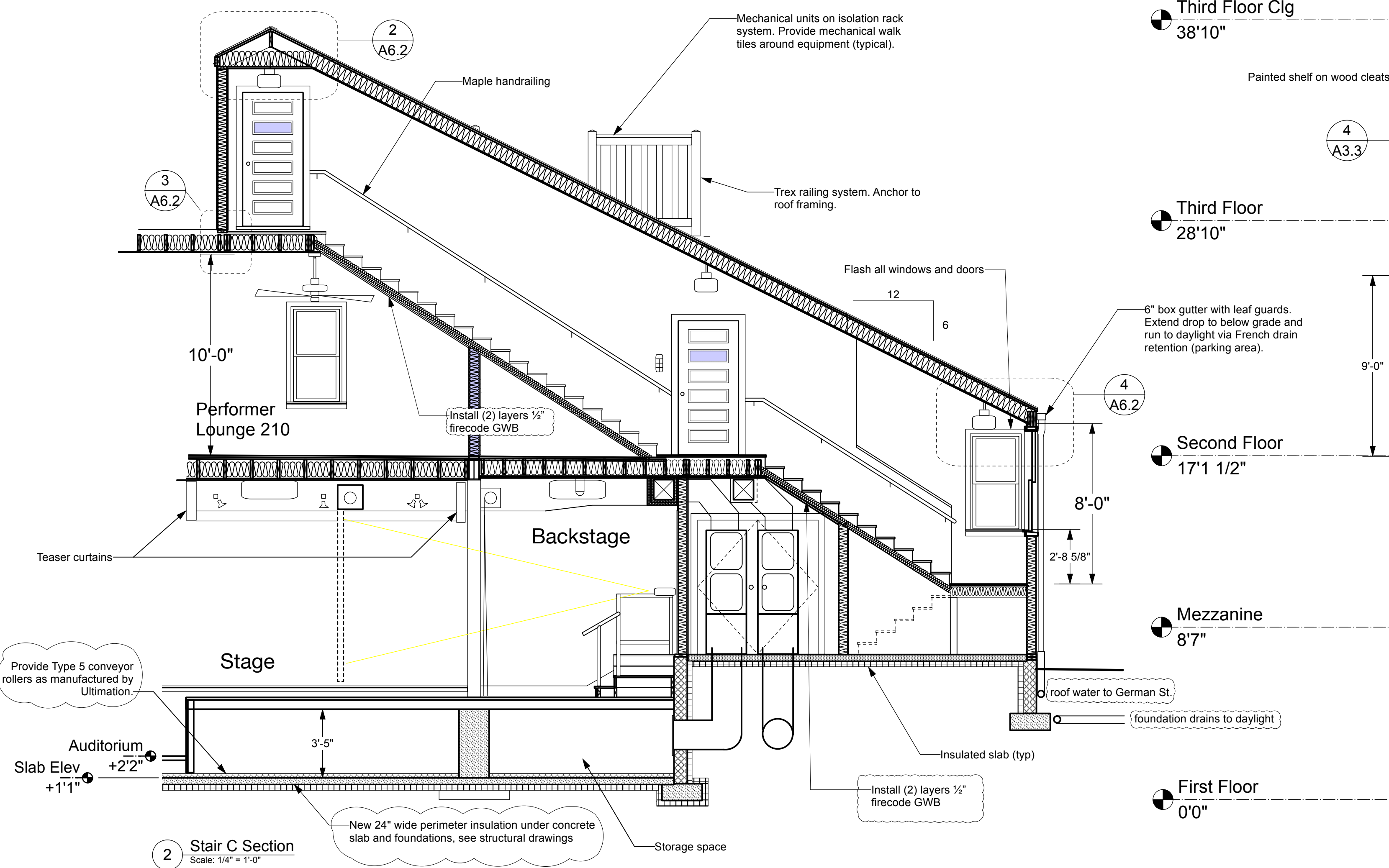
Date: May 28, 2020
Scale: As Noted
Project Number: 20820
Drawing Number

A3.3

FULLY SPRINKLERED BUILDING



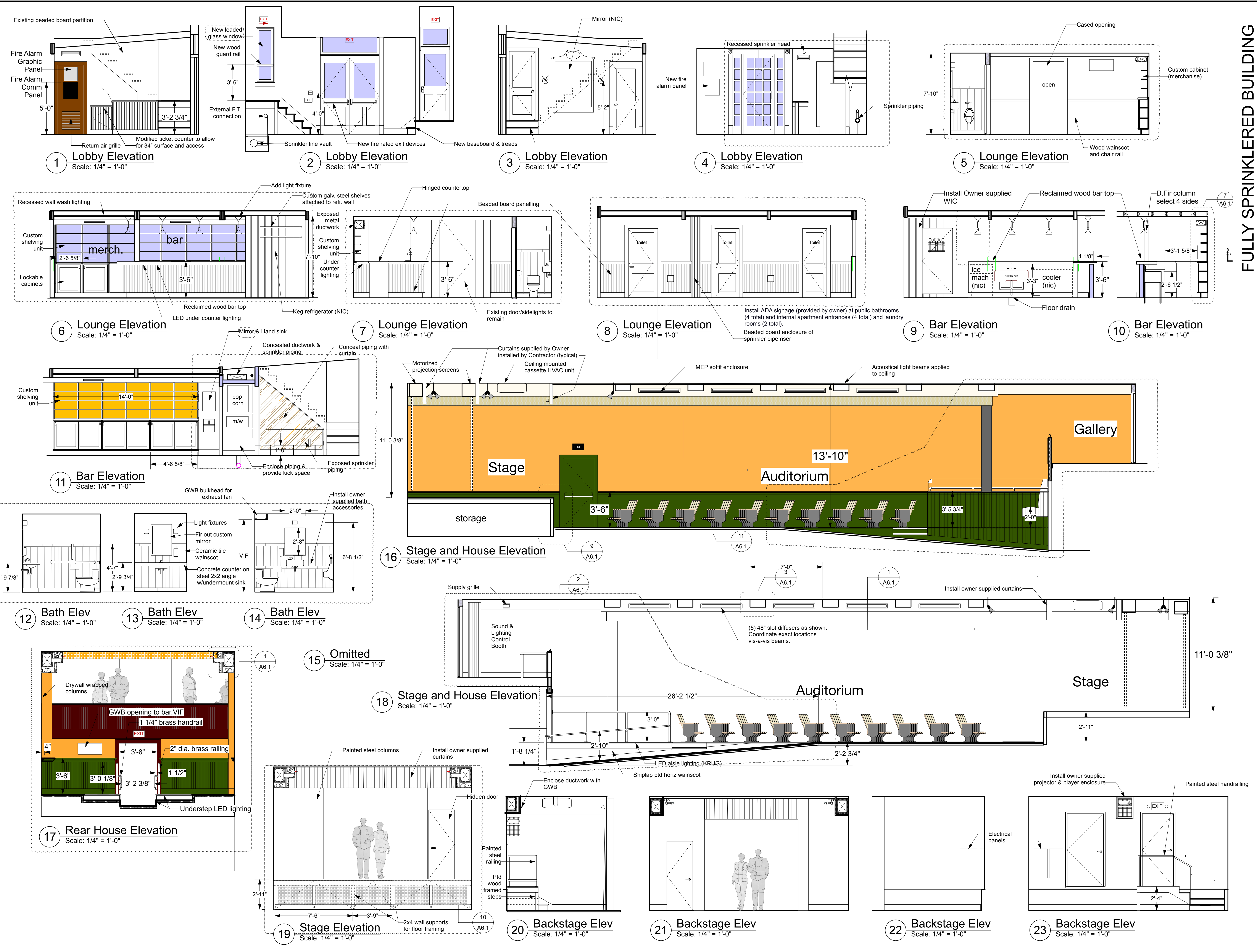
NOTE: Provide treatment of non-pressure treated ground floor lumber and CMU in close proximity of soil prior to pouring of concrete slab. Use spray applied Bora-Care to 36" above grade.



2 Stair C Section
Scale: 1/4" = 1'-0"

3 Building Section
Scale: 1/4" = 1'-0"

4 East or West Wall Section
Scale: 1" = 1'-0"



FULLY SPRINKLERED BUILDING

NORTH (building)

Shepherdstown Opera House RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

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4 Weems Lane #277
Winchester, VA 22601
540 247-2939

Structural Engineer

Ruckman Engineering, PLC
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Issue/Revision

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10/23/20 For Construction
02/25/21 General Revisions



Drawing Title

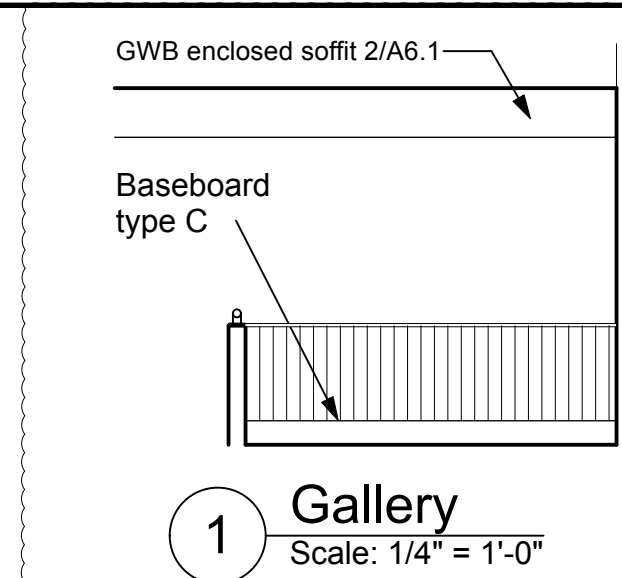
Interior Elevations

Date: May 28, 2020

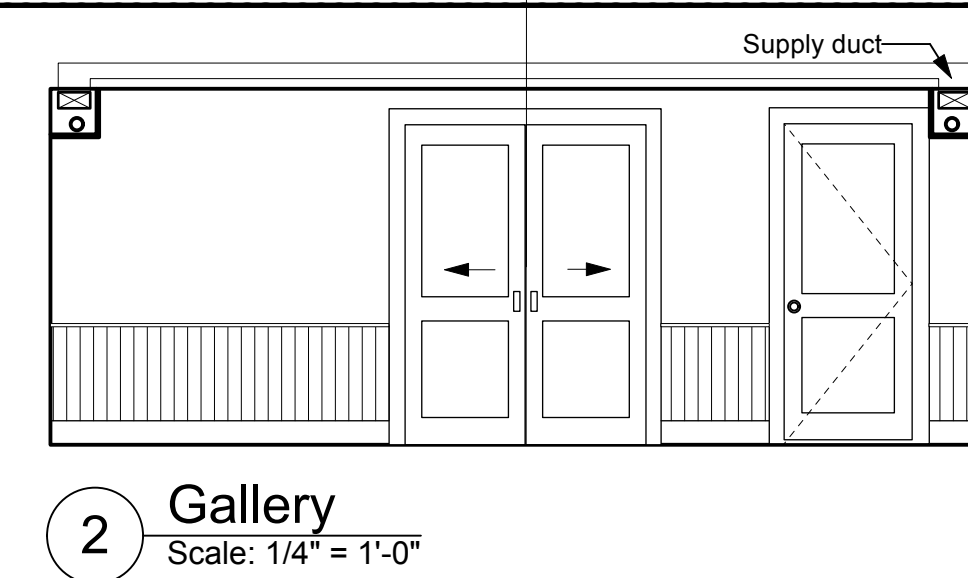
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Drawing Number

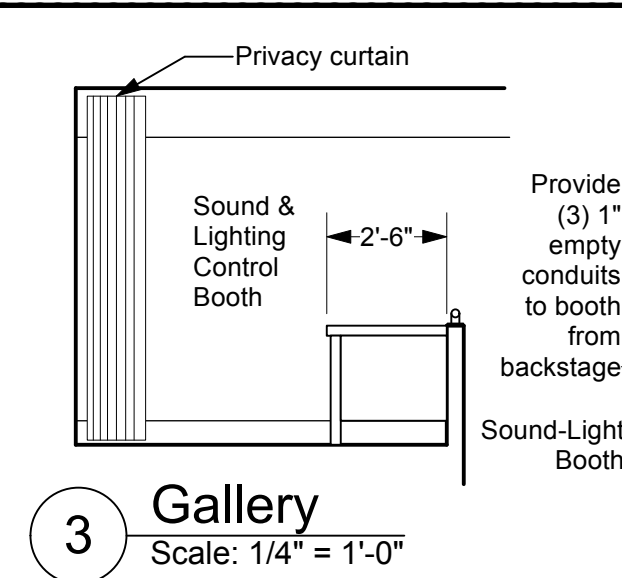
A4.2



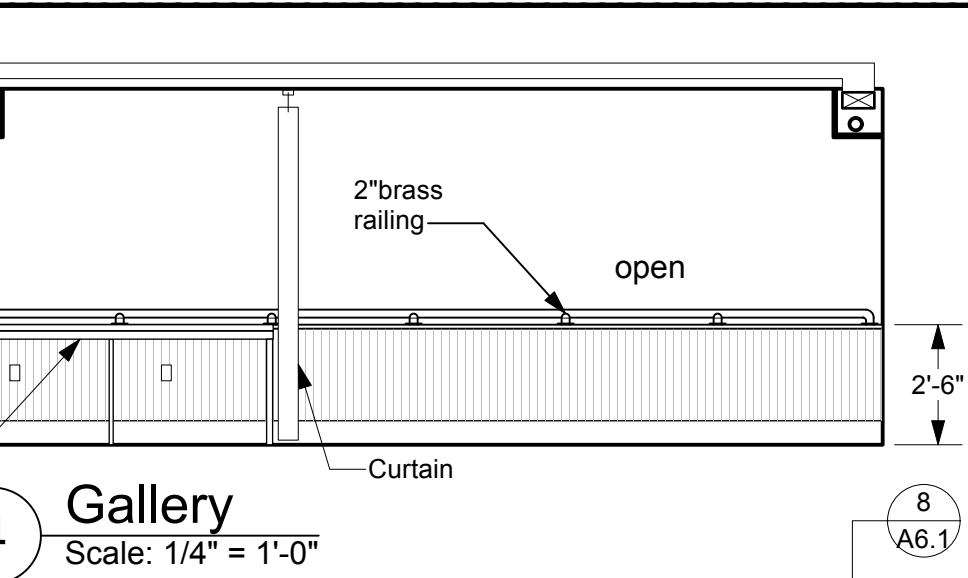
1 Gallery
Scale: 1/4" = 1'-0"



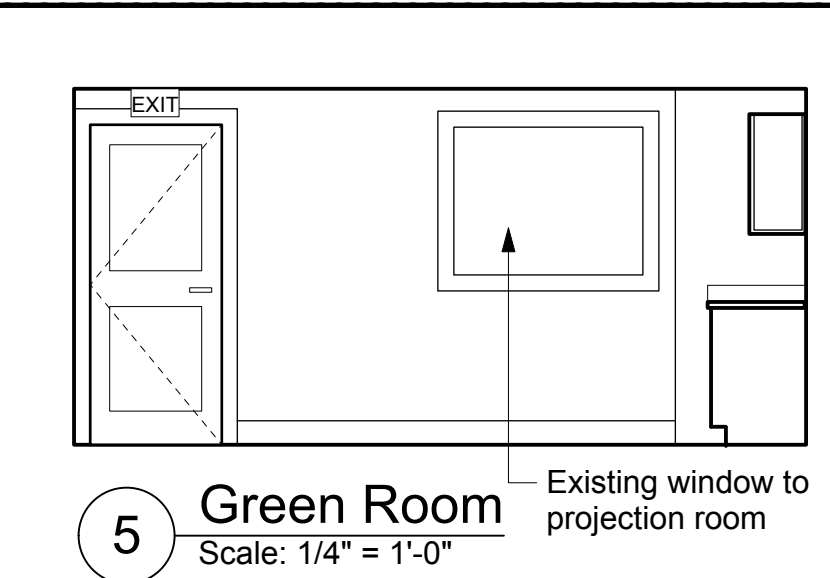
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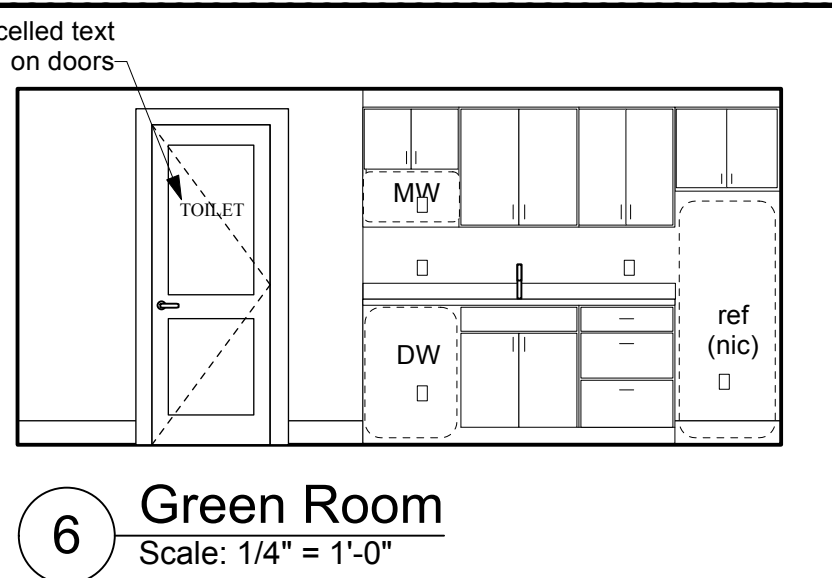
3 Gallery
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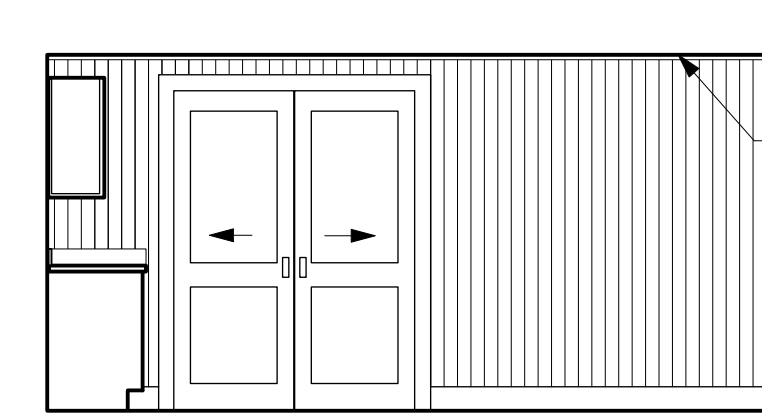
4 Gallery
Scale: 1/4" = 1'-0"



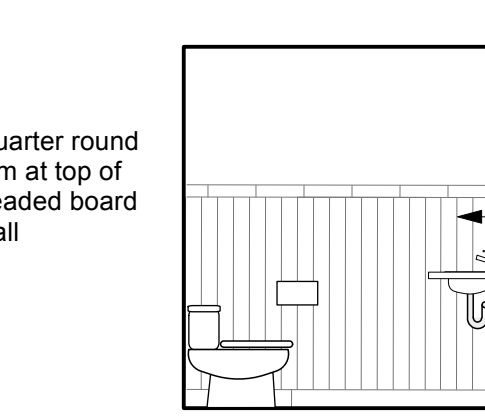
5 Green Room
Scale: 1/4" = 1'-0"



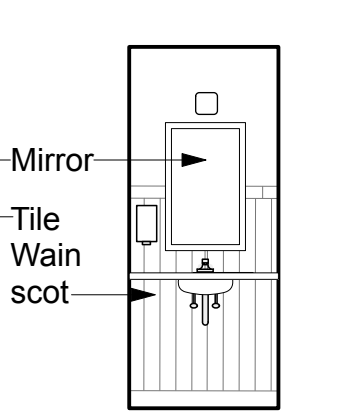
6 Green Room
Scale: 1/4" = 1'-0"



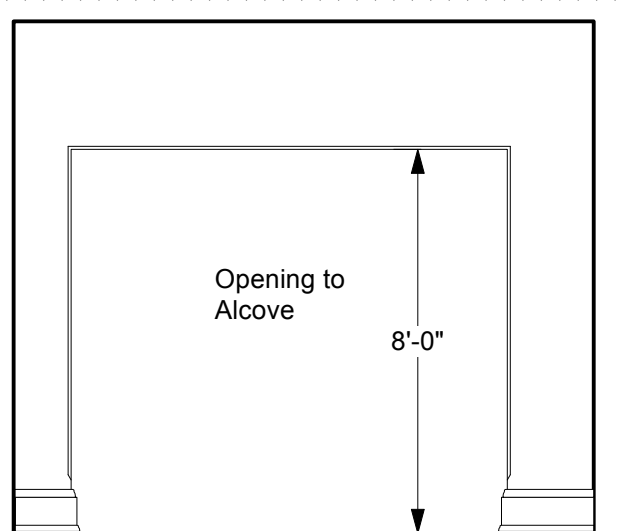
7 Green Room
Scale: 1/4" = 1'-0"



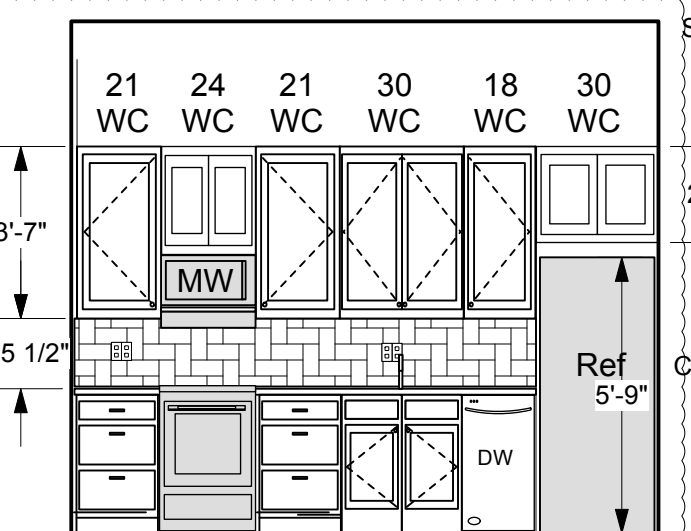
9 Toilet M04
Scale: 1/4" = 1'-0"



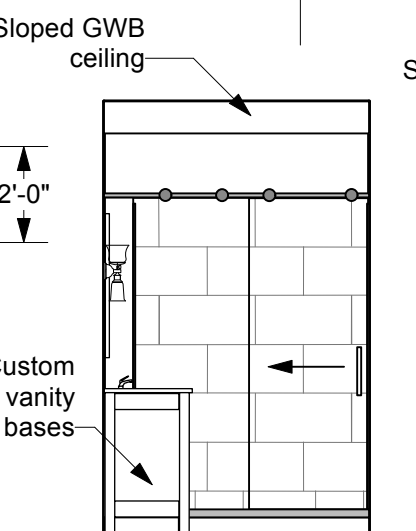
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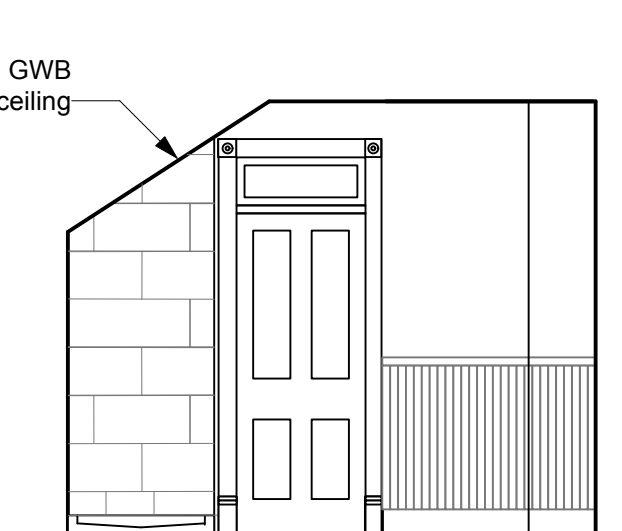
13 Salon Looking to Alcove
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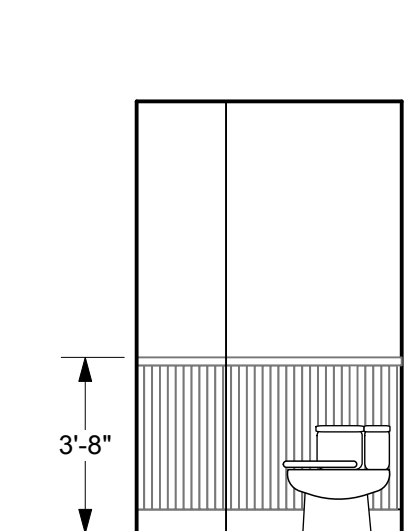
14 Apartment 2A
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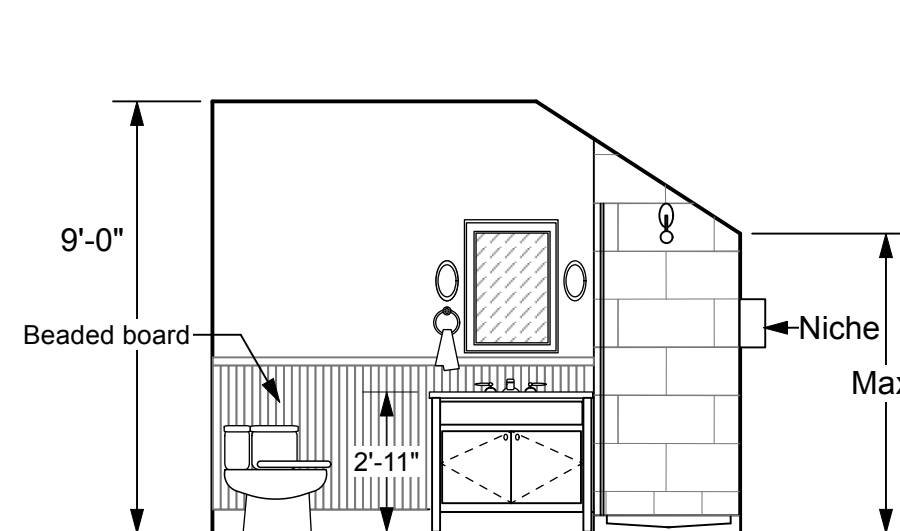
15 Bath 201A
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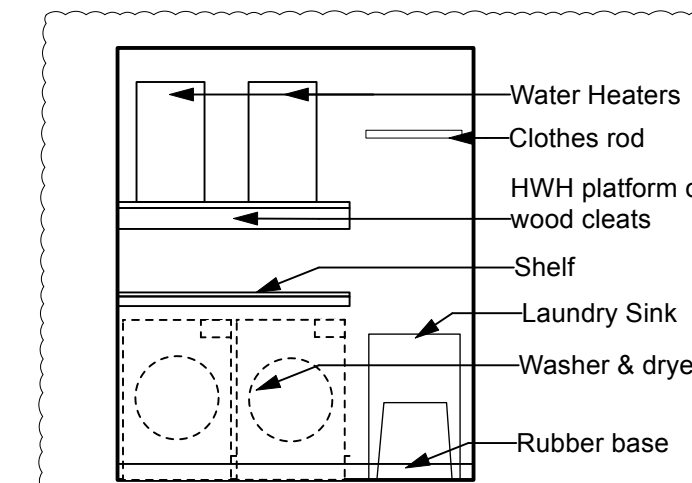
16 Bath 201A
Scale: 1/4" = 1'-0"



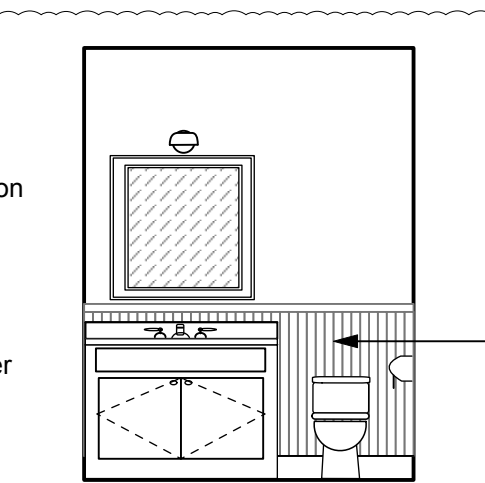
17 Bath 201A
Scale: 1/4" = 1'-0"



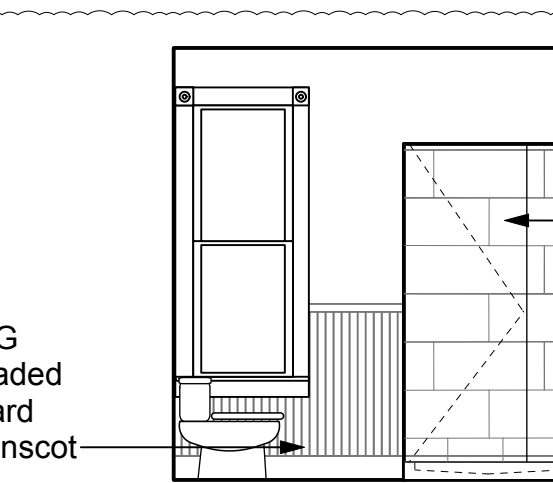
18 Bath 201A
Scale: 1/4" = 1'-0"



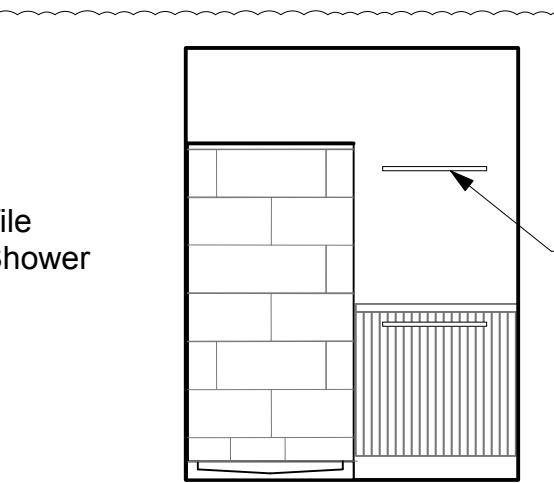
19 Laundry 204A
Scale: 1/4" = 1'-0"



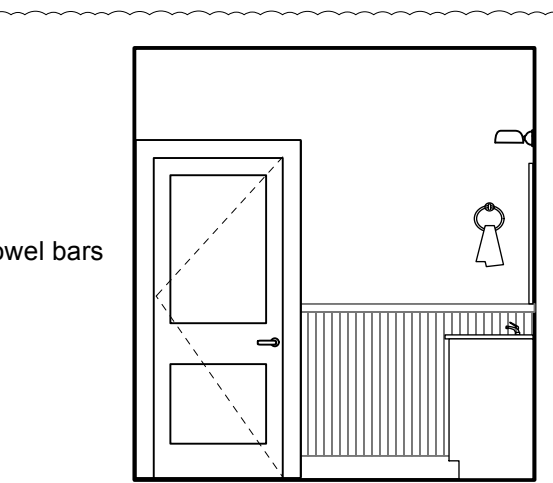
20 Bath 206A
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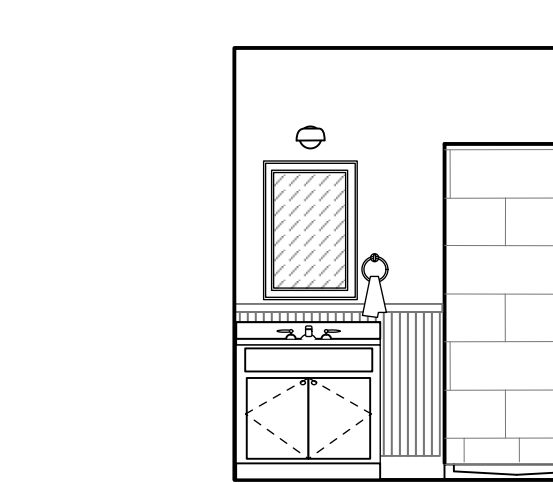
21 Bath 206A
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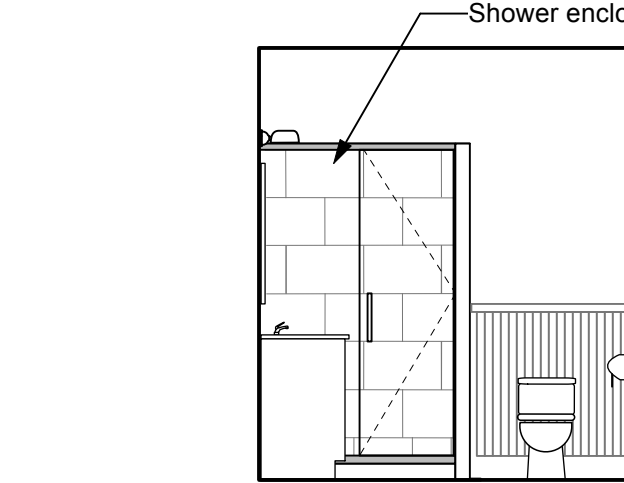
22 Bath 206A
Scale: 1/4" = 1'-0"



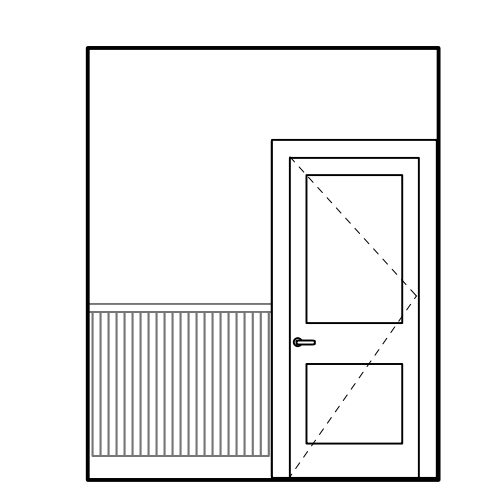
23 Bath 206A
Scale: 1/4" = 1'-0"



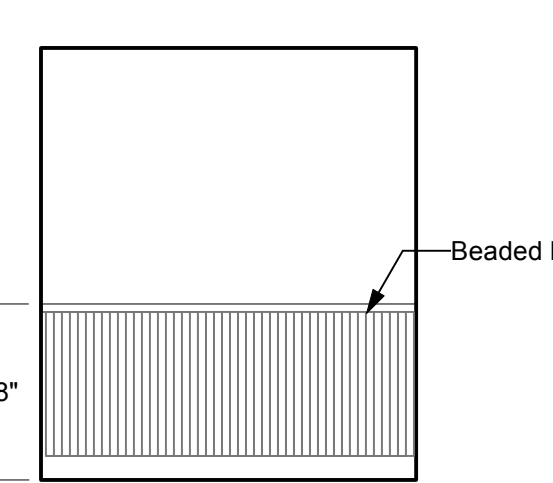
24 Bath 208A
Scale: 1/4" = 1'-0"



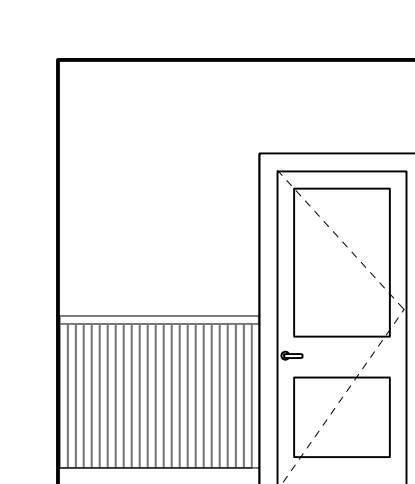
25 Bath 208A/209A
Scale: 1/4" = 1'-0"



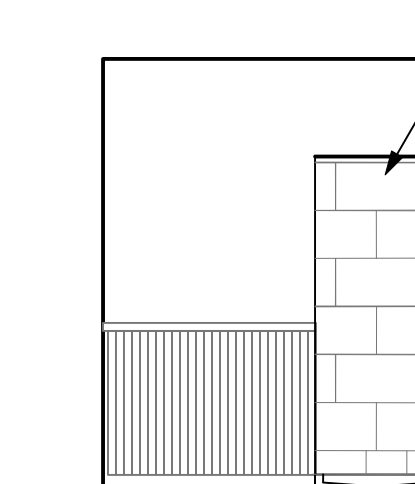
26 Bath 208A
Scale: 1/4" = 1'-0"



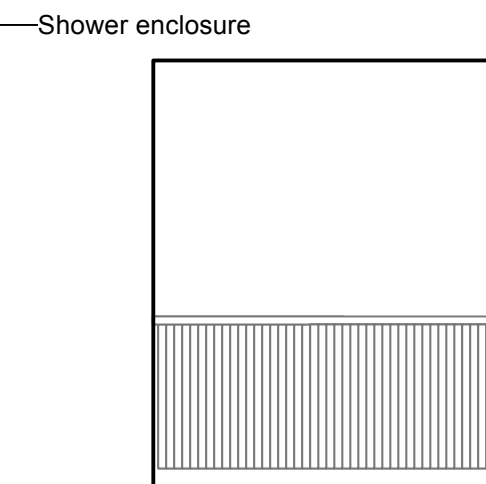
27 Bath 208A
Scale: 1/4" = 1'-0"



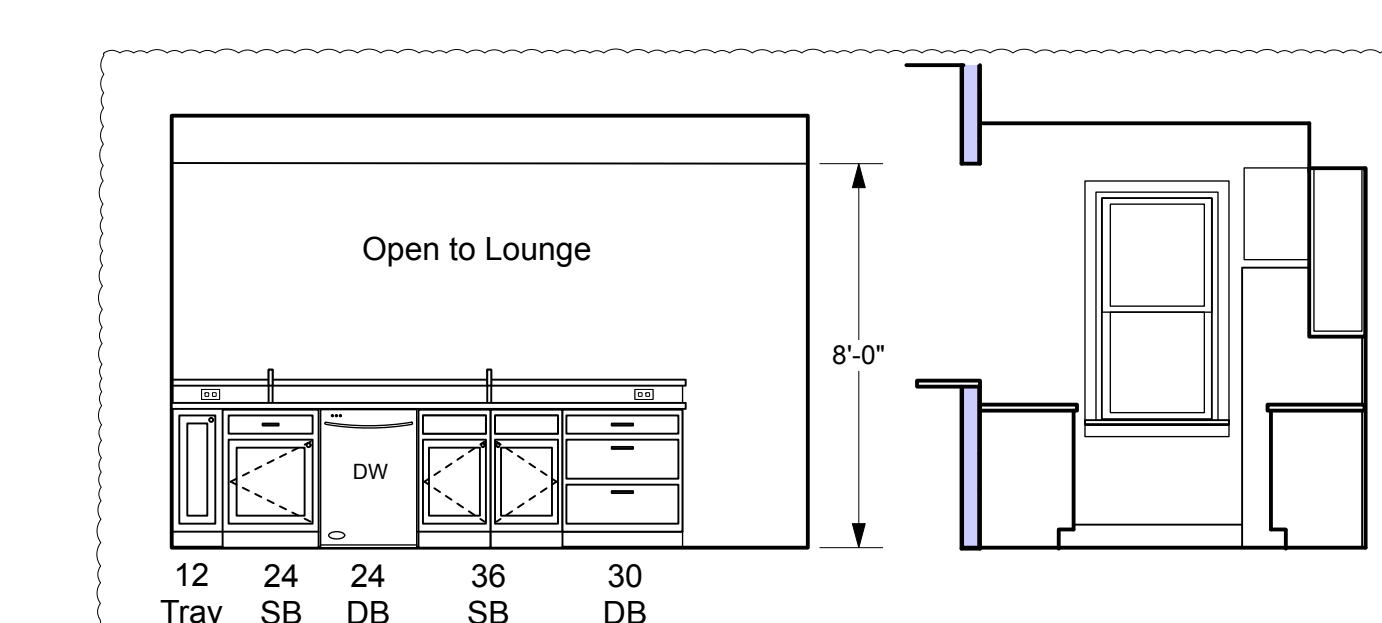
28 Bath 209A
Scale: 1/4" = 1'-0"



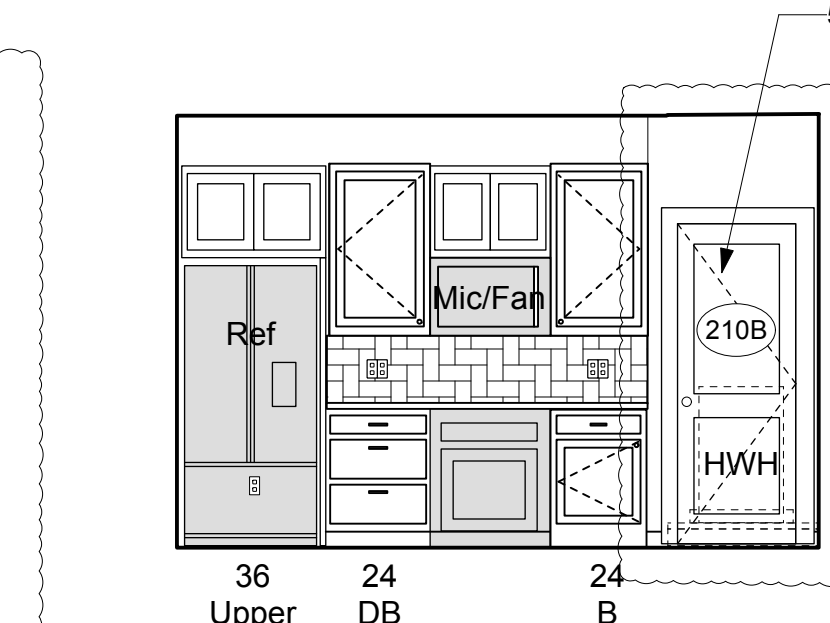
29 Bath 209A
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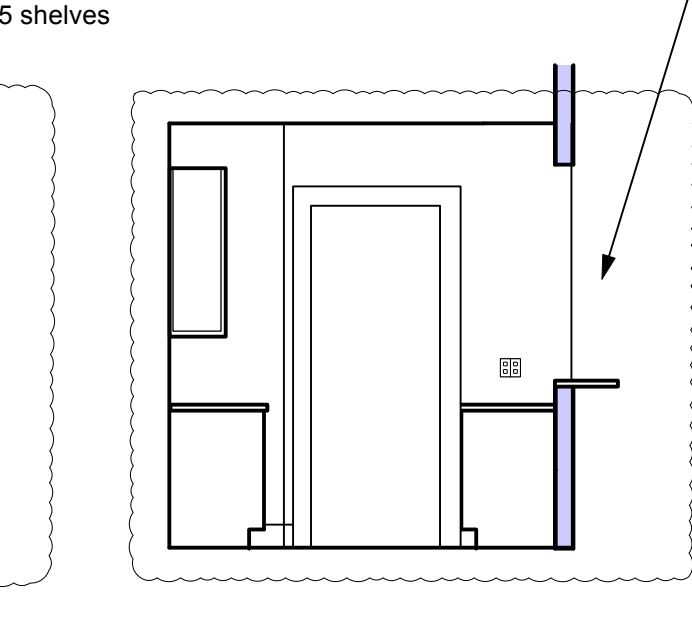
30 Bath 208A
Scale: 1/4" = 1'-0"



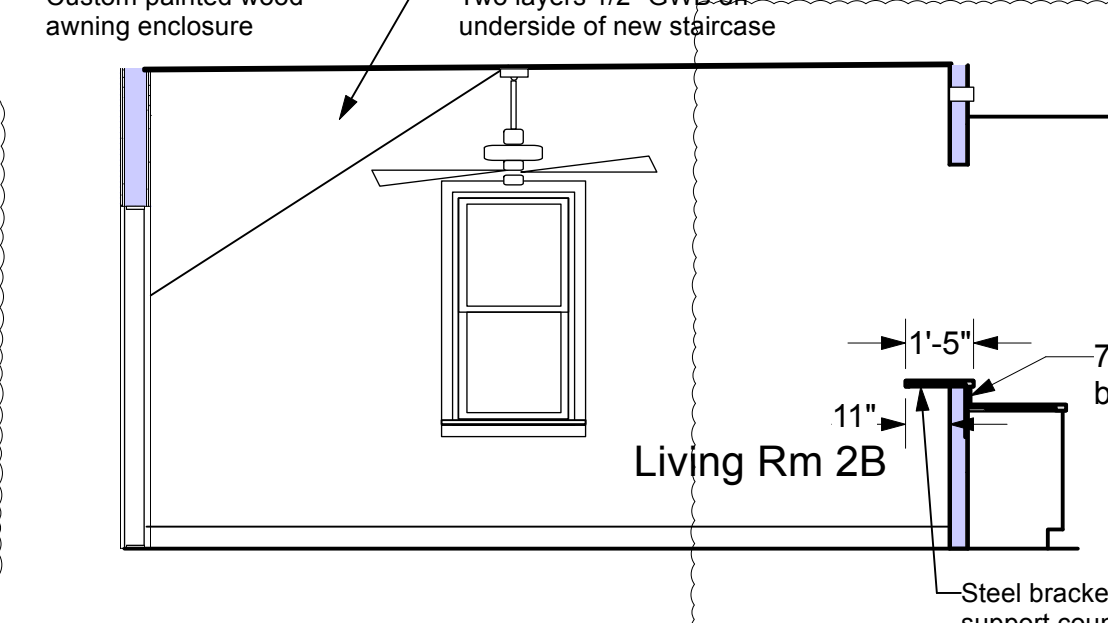
31 Pantry 210A/Kitchen 210B
Scale: 1/4" = 1'-0"



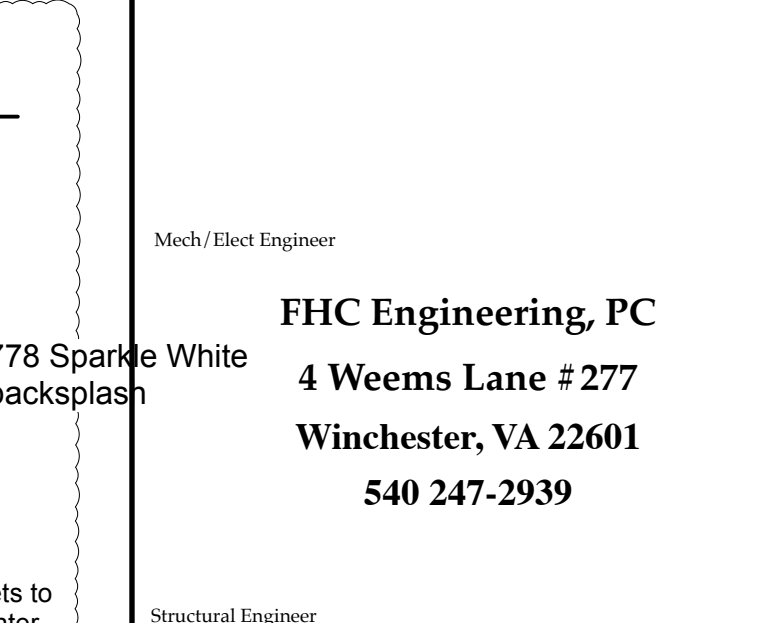
32 Kitchen 210B
Scale: 1/4" = 1'-0"



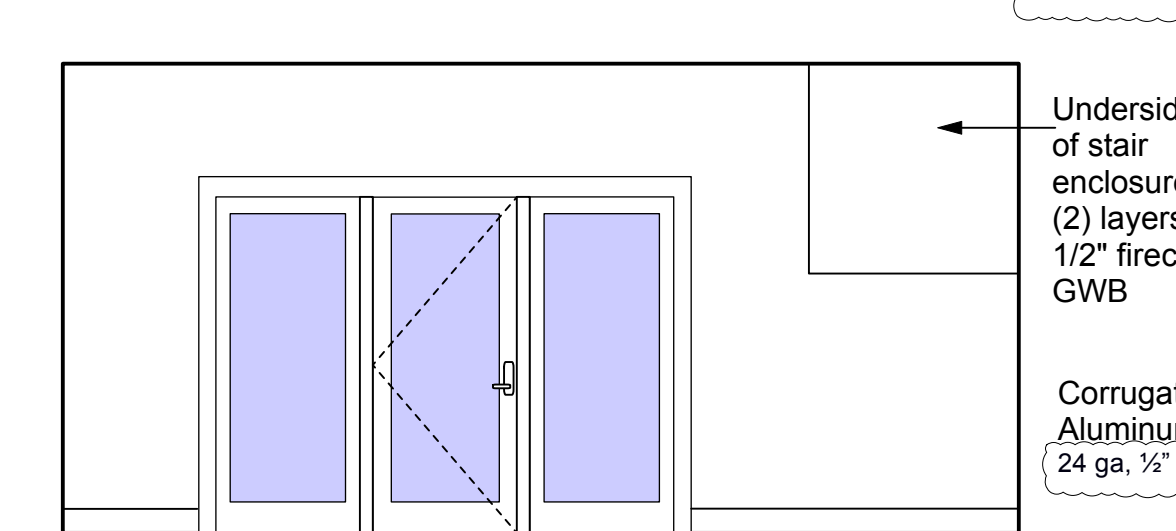
33 Kitchen 210B
Scale: 1/4" = 1'-0"



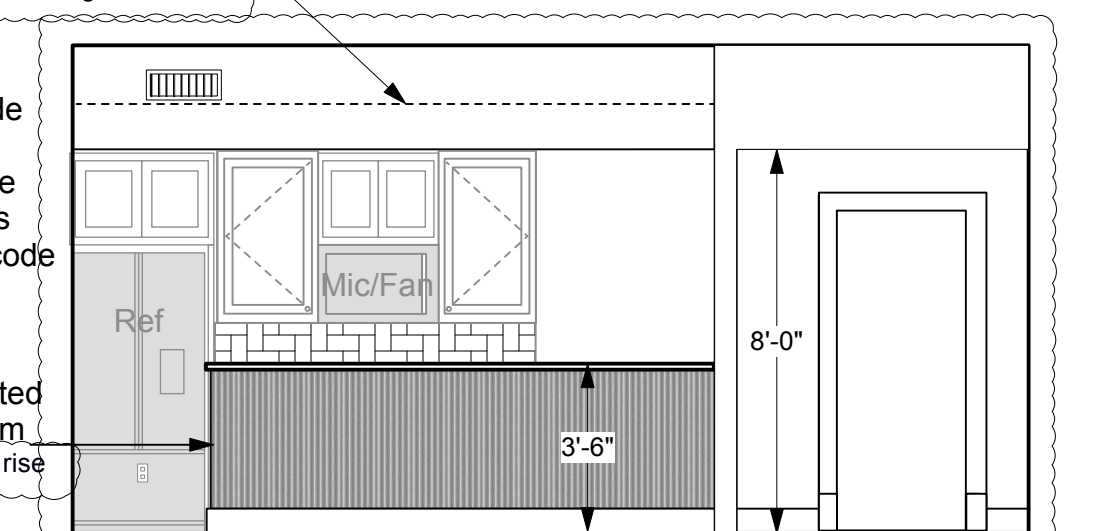
34 Kitchen 210B
Scale: 1/4" = 1'-0"



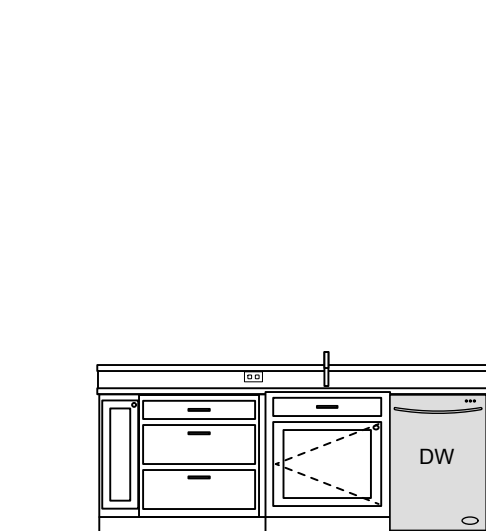
35 Performer Lounge 210
Scale: 1/4" = 1'-0"



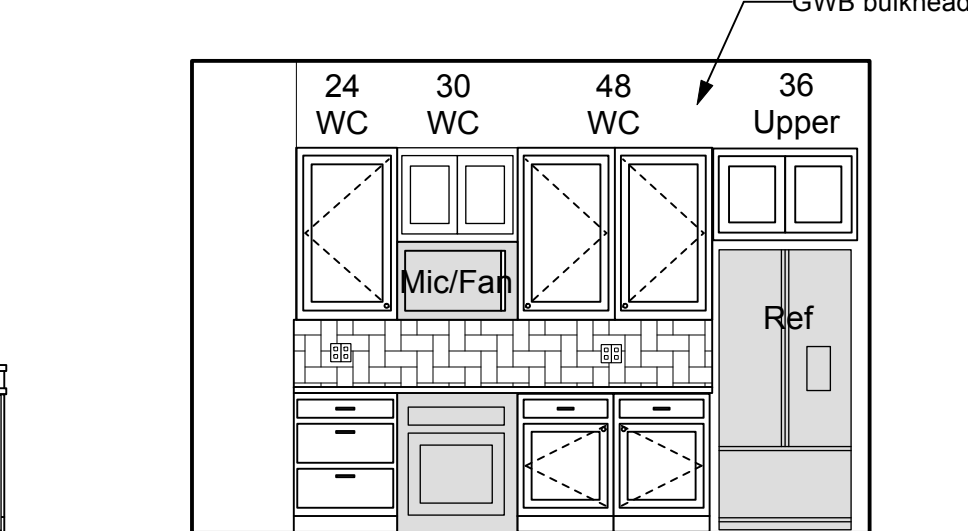
36 Performer Lounge 210
Scale: 1/4" = 1'-0"



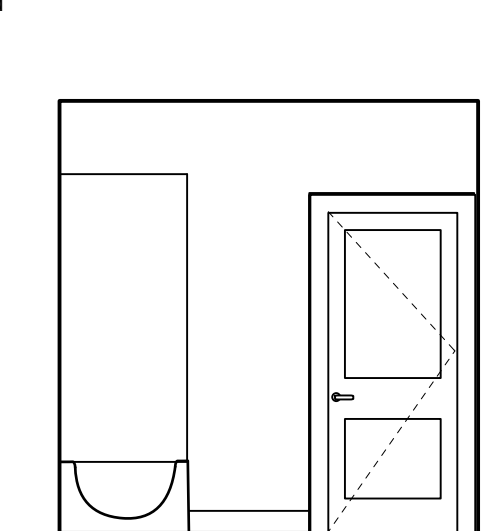
37 Performer Lounge 210
Scale: 1/4" = 1'-0"



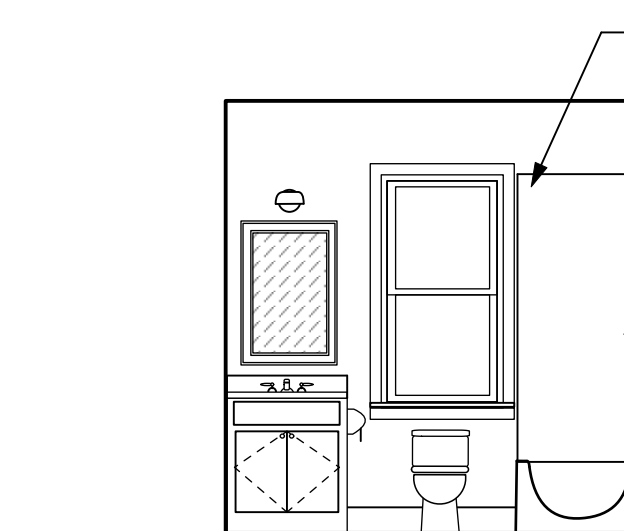
38 Kitchen 305/310 Island
Scale: 1/4" = 1'-0"



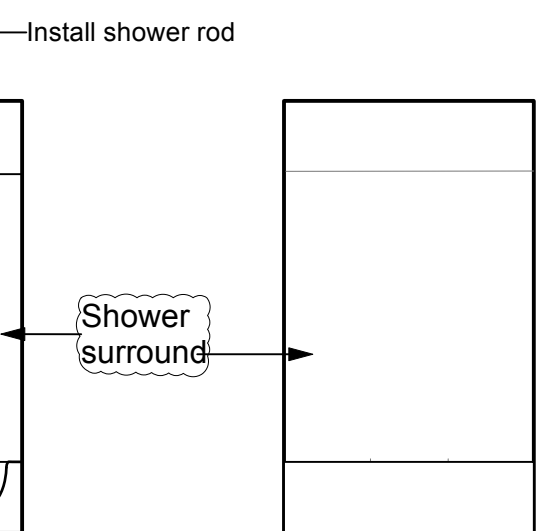
39 Kitchen 305
Scale: 1/4" = 1'-0"



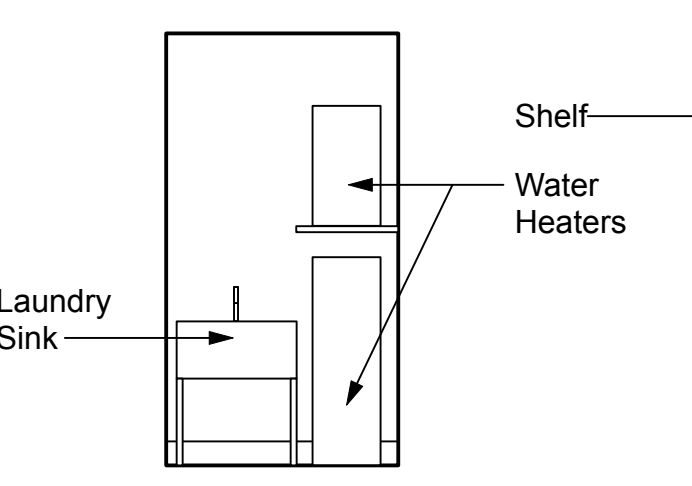
40 Bath 307
Scale: 1/4" = 1'-0"



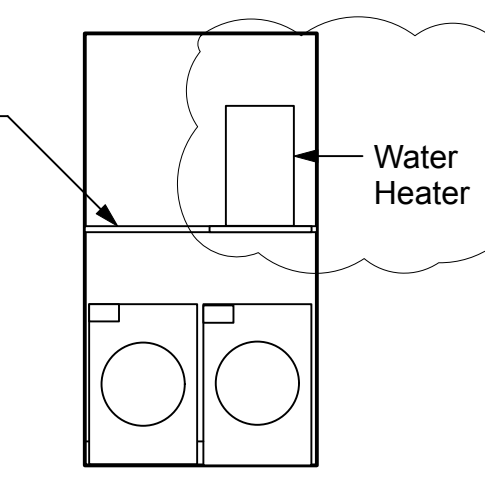
41 Bath 307
Scale: 1/4" = 1'-0"



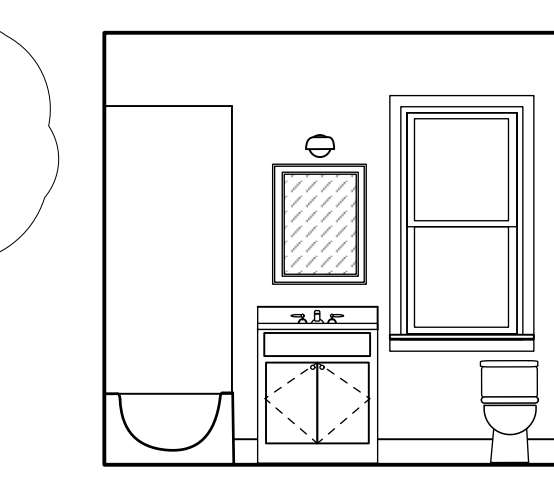
42 Bath 307/309
Scale: 1/4" = 1'-0"



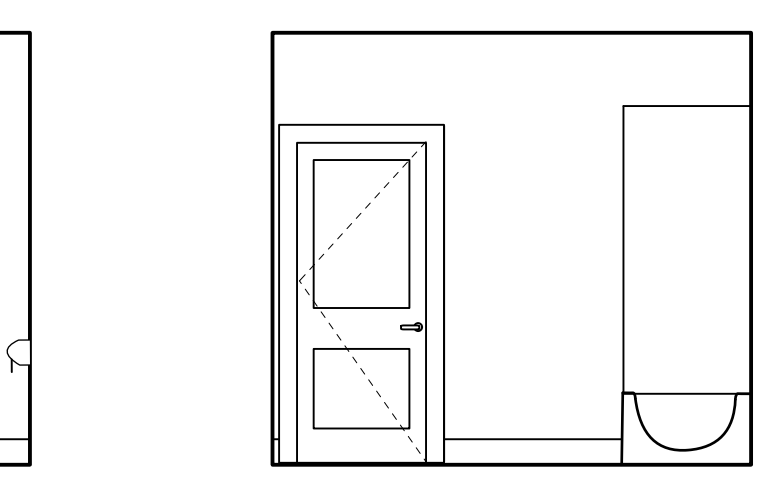
43 Laundry 301A
Scale: 1/4" = 1'-0"



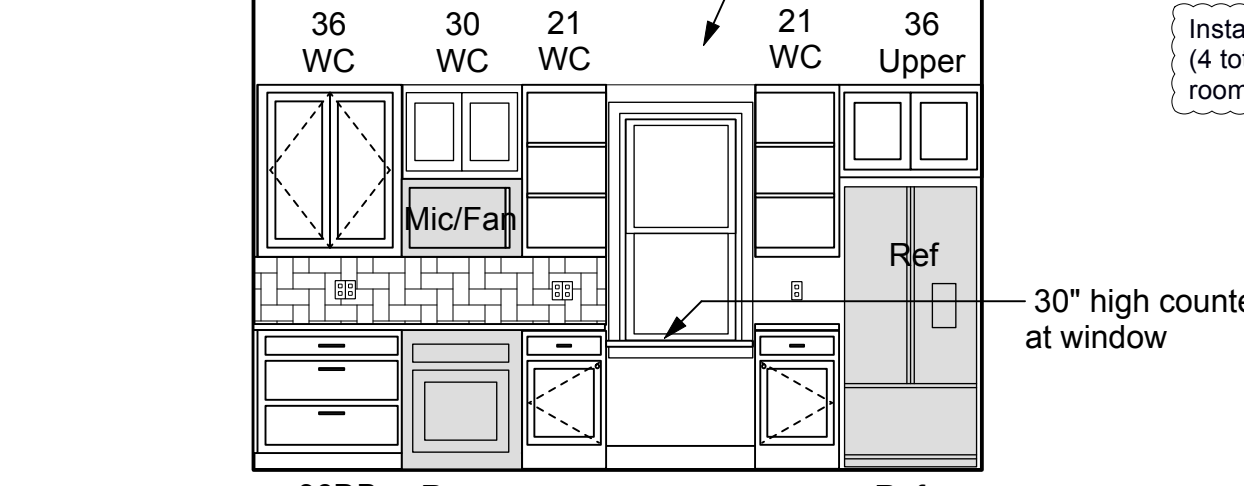
44 Laundry 301A
Scale: 1/4" = 1'-0"



45 Bath 309
Scale: 1/4" = 1'-0"

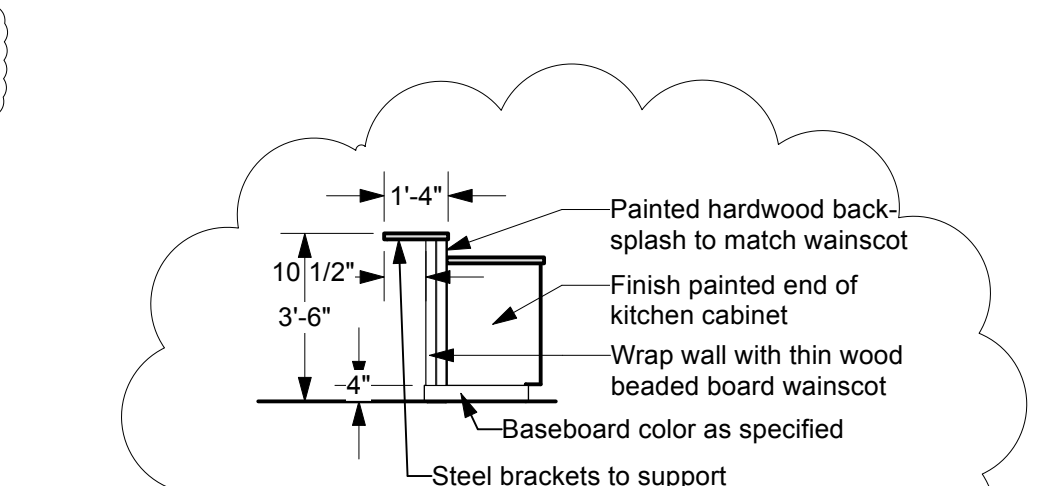


46 Bath 309
Scale: 1/4" = 1'-0"

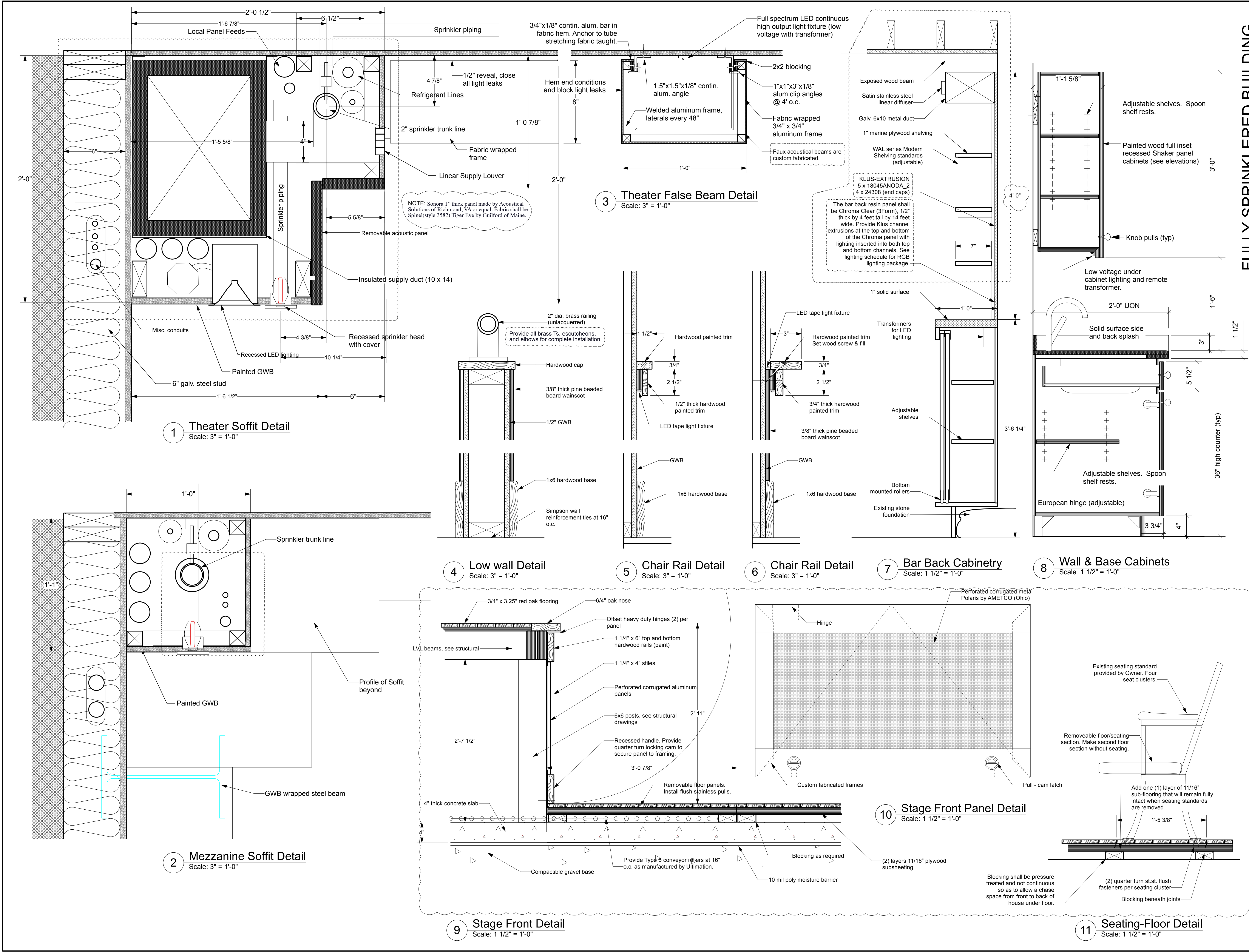


47 Kitchen 310
Scale: 1/4" = 1'-0"

Install ADA signage (provided by owner) at public bathrooms (4 total) and internal apartment entrances (4 total) and laundry rooms (2 total).



48 Typical Kitchen Island
Scale: NTS



Shepherdstown Opera House RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

Owner

131 West German LLC

Mech/Elect Engineer

FHC Engineering, PC
4 Weems Lane #277
Winchester, VA 22601
540 247-2939

Structural Engineer

Ruckman Engineering, PLC
22-B Ricketts Drive
Winchester, VA 22601

GDA Architecture
Planning
Interiors
Landscape
Grove & Dall'Olio Architects pllc
Matthew W. Grove
122 Migration Lane
Centersburg, WV 25420
304-267-2120

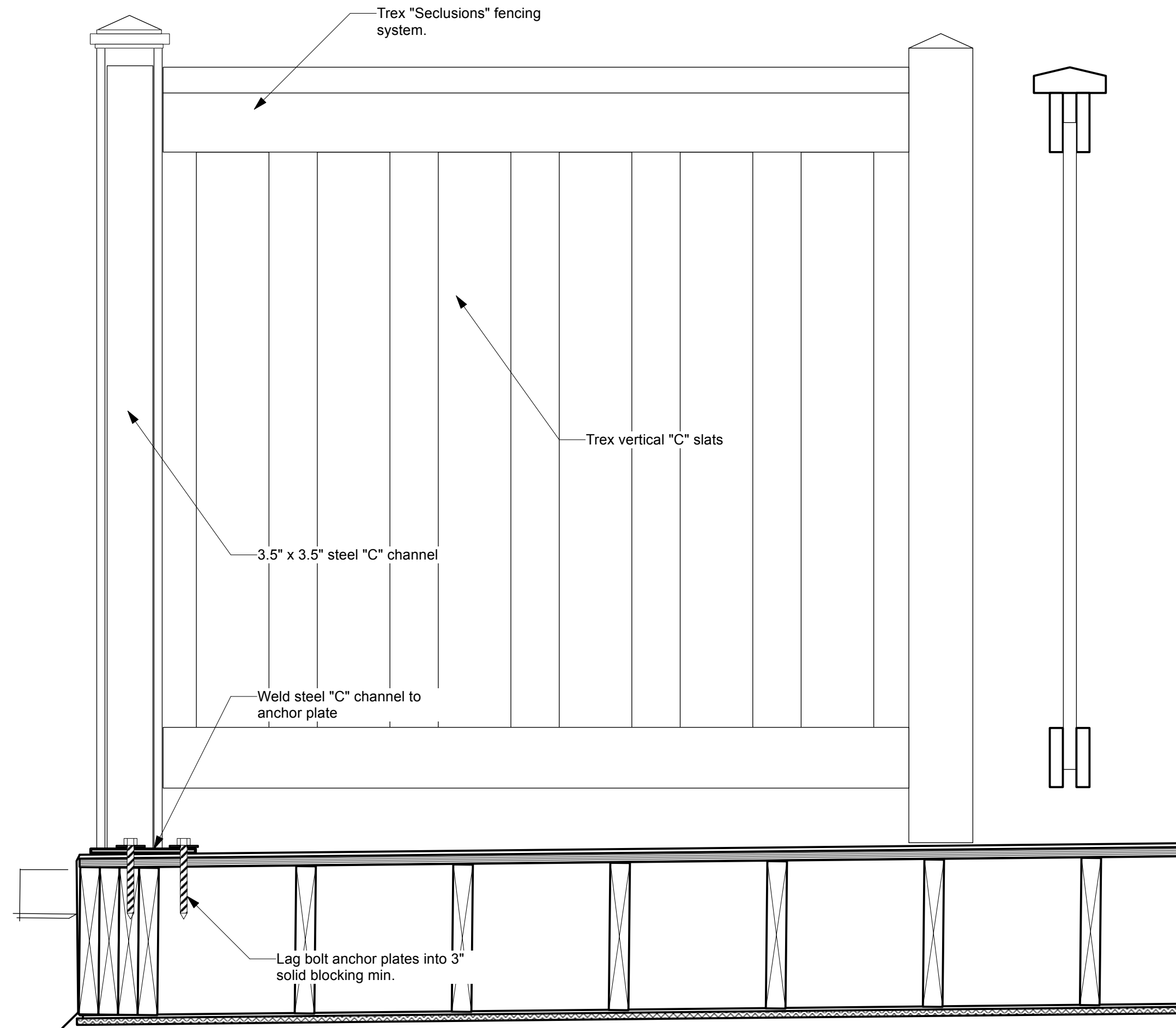
Scale
18 West Broomfield Street
Winchester, VA 22601
540-773-2326

Issue/Revision
6/4/20 Issued to WV Fire Marshal
6/22/20 Issued for bid
10/23/20 For Construction
02/25/21 General Revisions
10/20/21 General Revisions

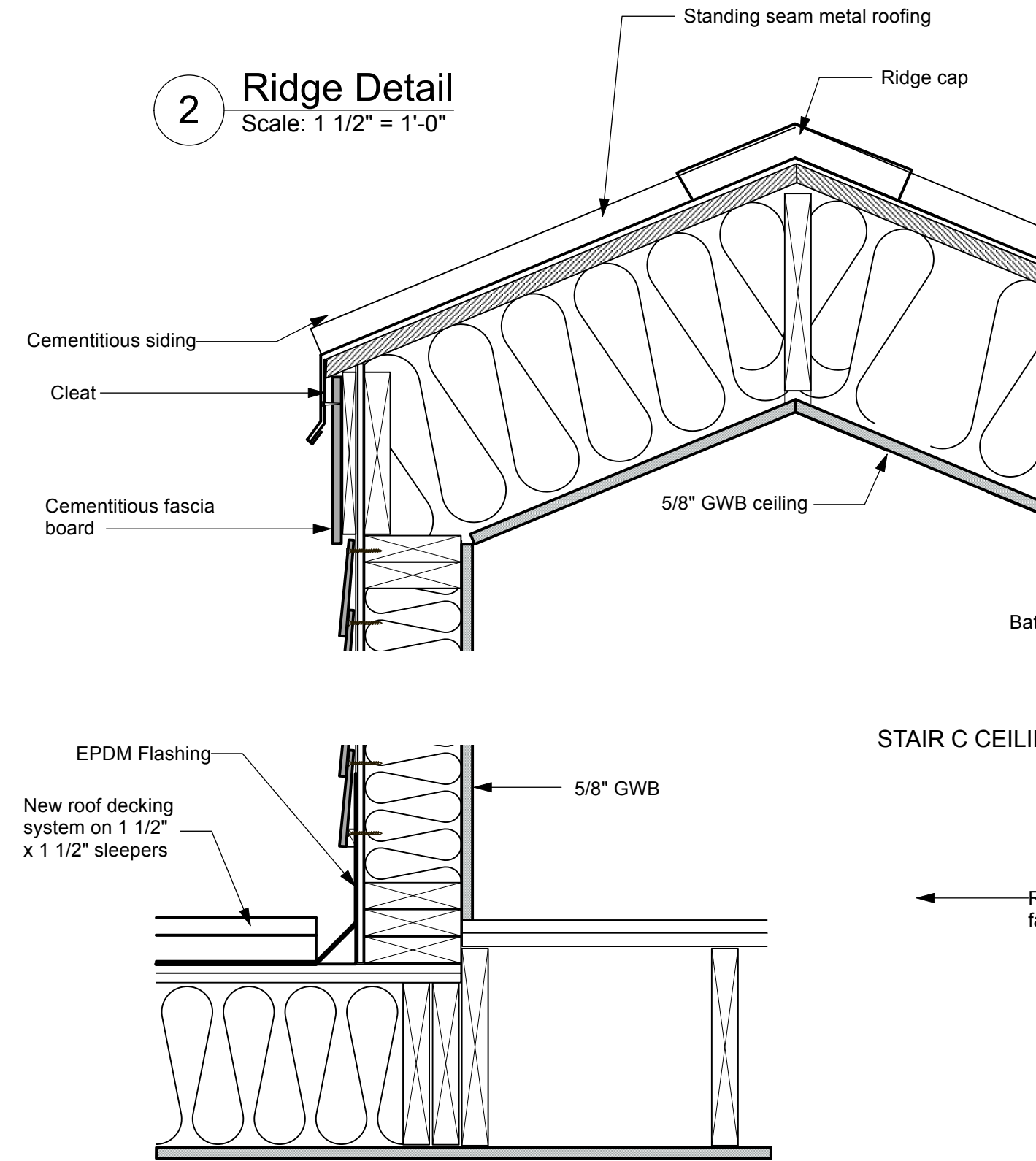
Scale
MAY 28, 2020
Project Number 20820
Drawing Number

STATE OF WEST VIRGINIA
MATTHEW W. GROVE
NO. 2616
REGISTERED ARCHITECT

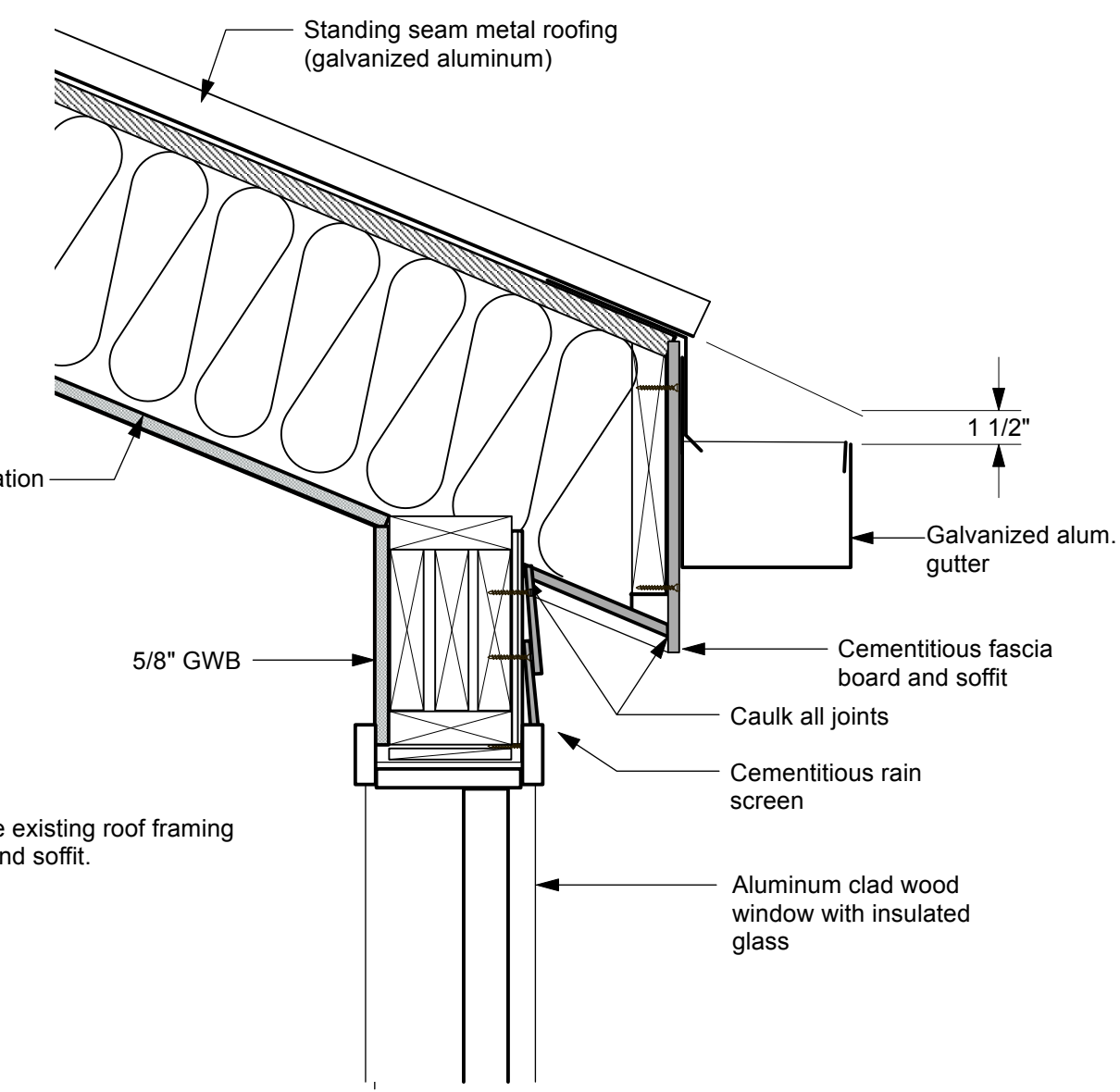
Interior Details



1 Roof Deck Railing Detail
Scale: 1 1/2" = 1'-0"



2 Ridge Detail
Scale: 1 1/2" = 1'-0"

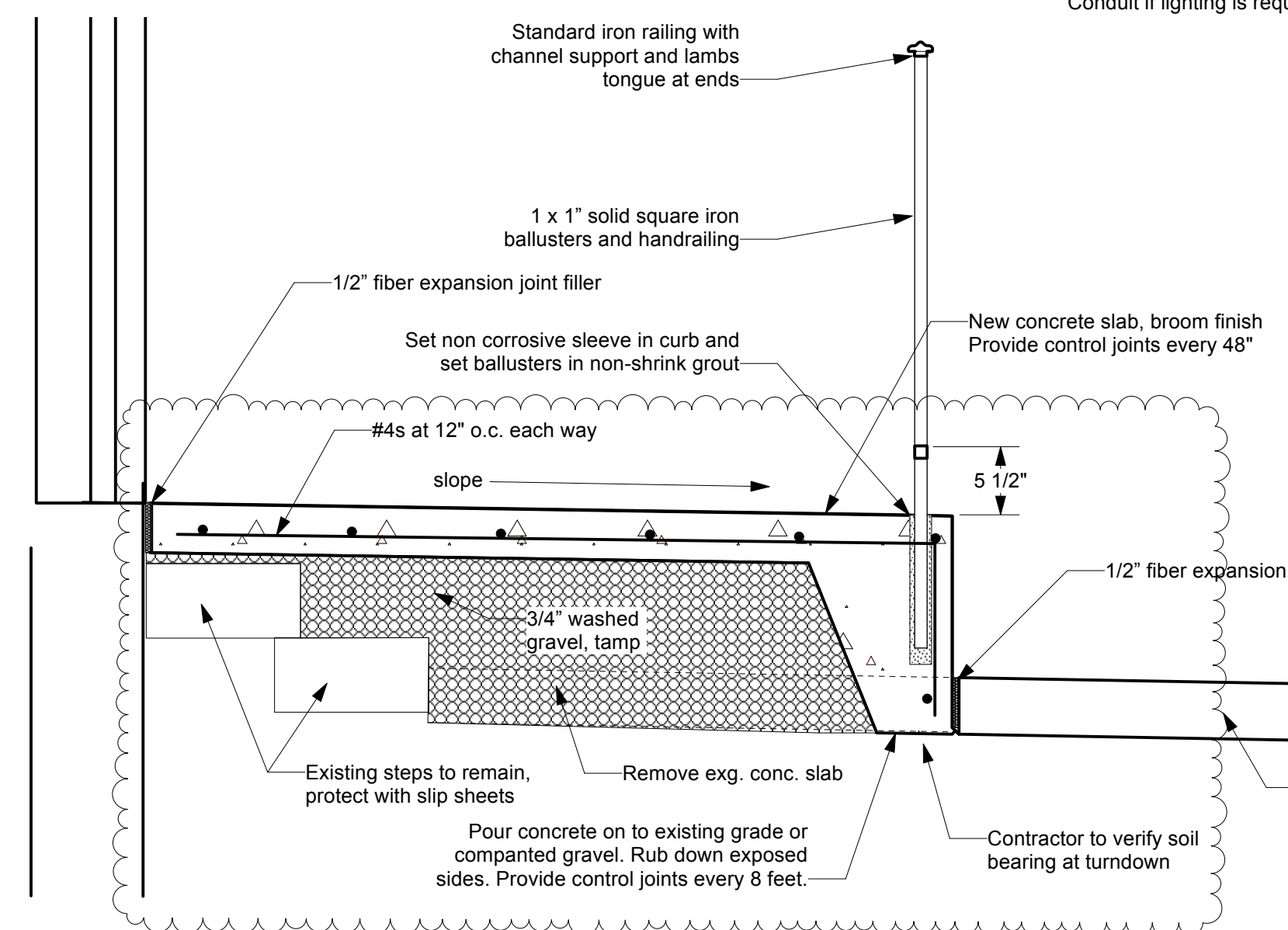


4 Eave Detail
Scale: 1 1/2" = 1'-0"

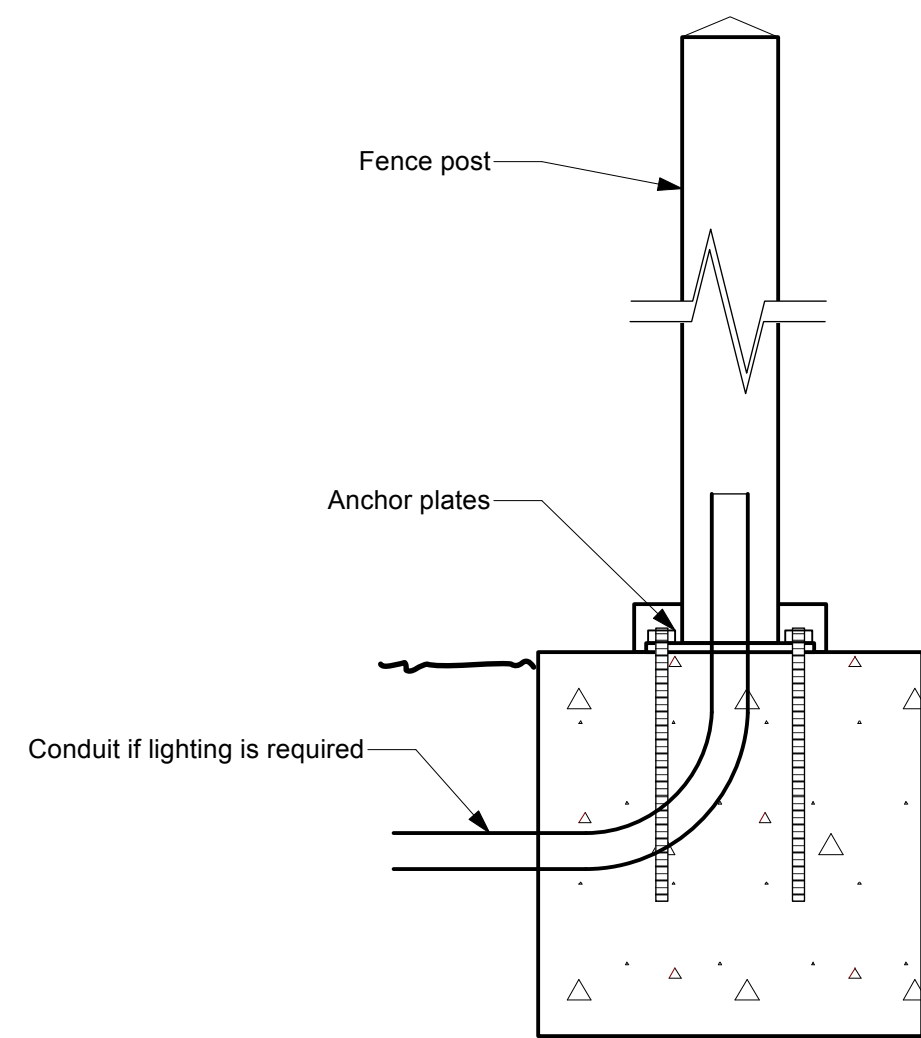
3 Roof Deck-Wall Detail
Scale: 1 1/2" = 1'-0"

STAIR C CEILING

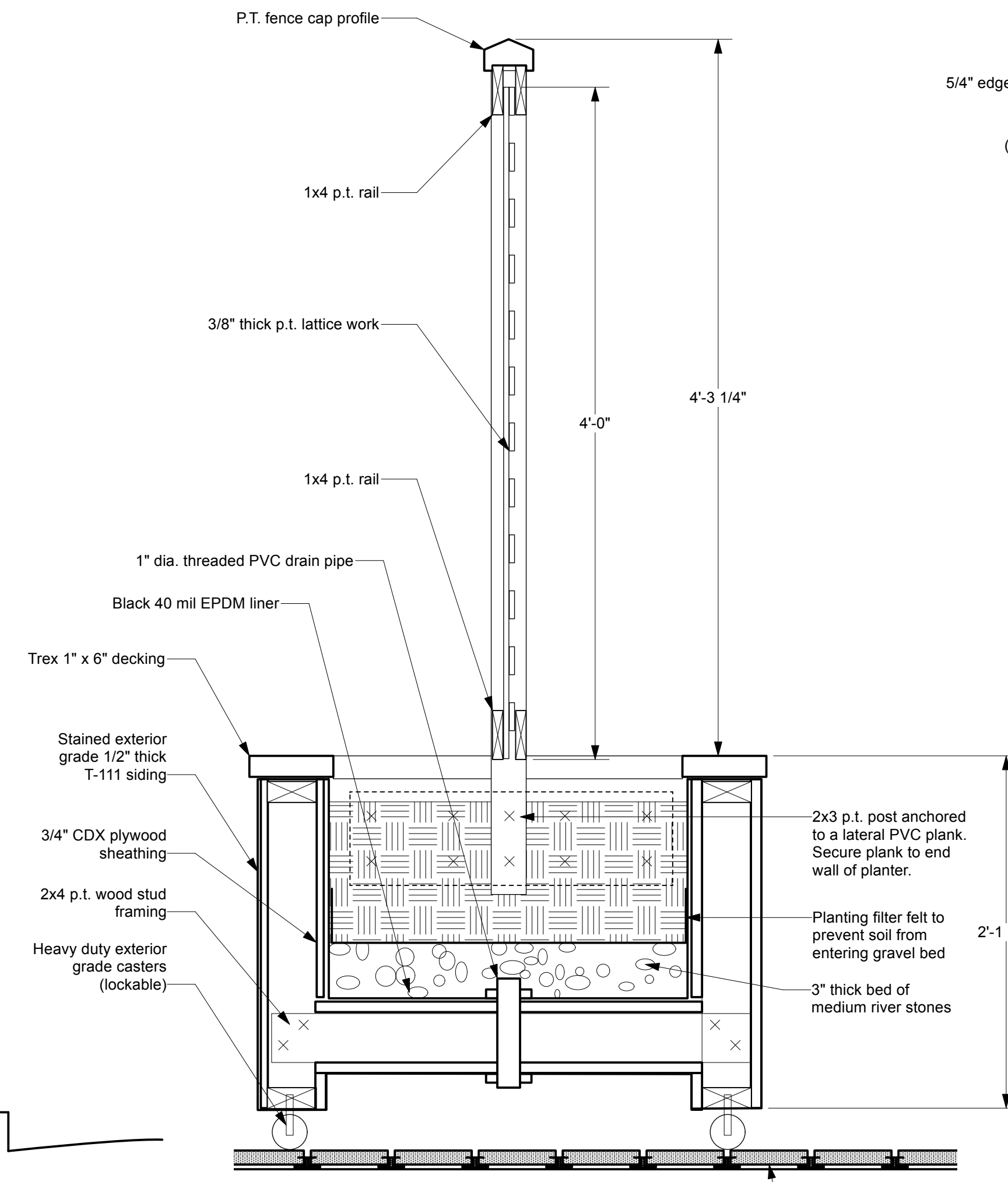
Remove existing roof framing fascia and soffit.



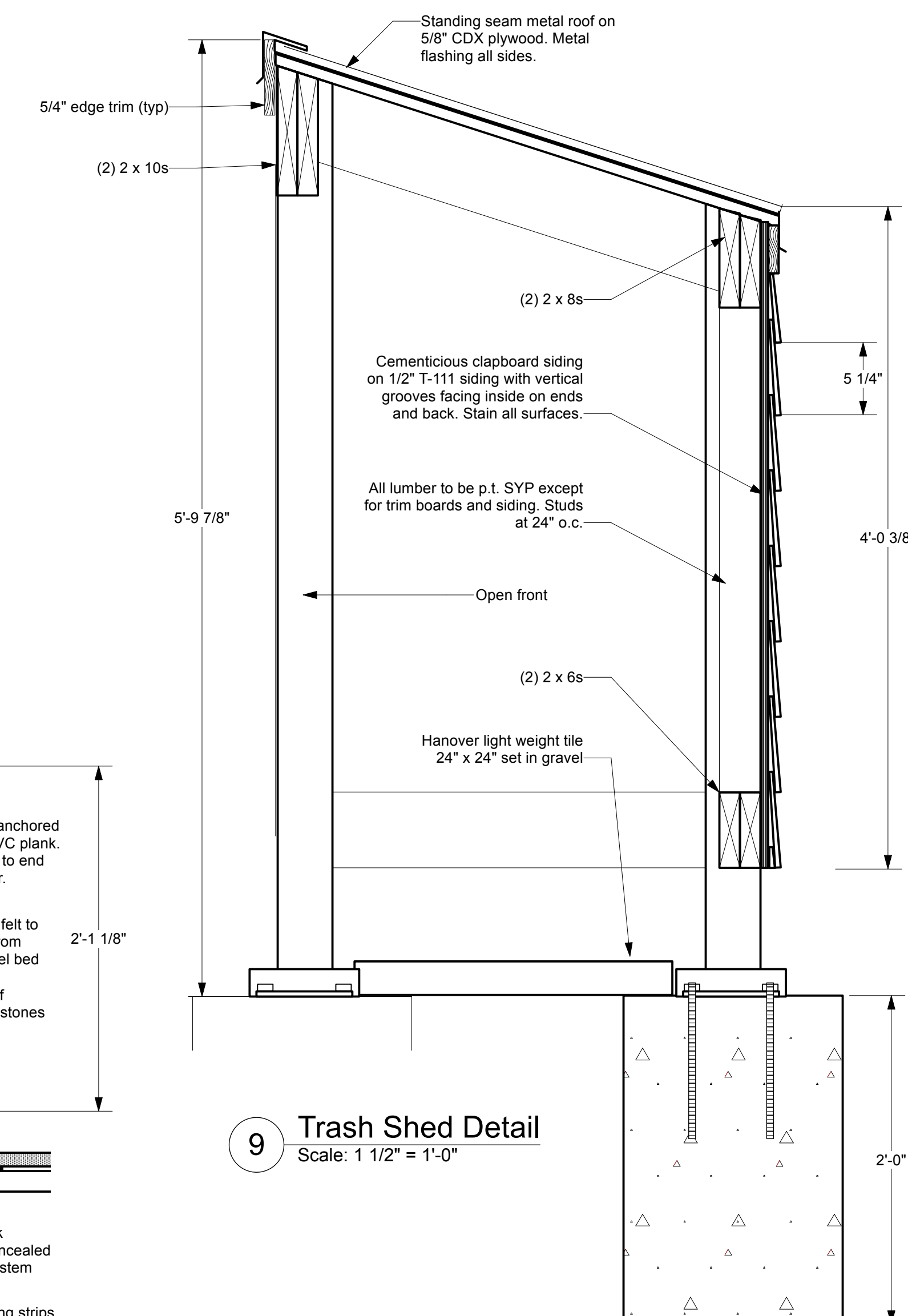
5 Roof Deck-Wall Detail
Scale: 1" = 1'-0"



6 Fence Post Detail
Scale: 1 1/2" = 1'-0"



7 Rooftop Planter Detail
Scale: 1 1/2" = 1'-0"



9 Trash Shed Detail
Scale: 1 1/2" = 1'-0"

FULLY SPRINKLERED BUILDING

NORTH (building)

Shepherdstown Opera House

RENOVATIONS

131 W. German St.
Shepherdstown
West Virginia

131 West German LLC

Mech/Elect Engineer
FHC Engineering, PC
4 Weems Lane # 277
Winchester, VA 22601
540 247-2939

Structural Engineer
Ruckman Engineering, PLC
22-B Ricketts Drive
Winchester, VA 22601

GDA Architecture
Planning
Interiors
Landscape
Grove & Dall'Olio Architects pllc
AIA, LEED AP
Matthew W. Grove | matthew@gdausa.com • GDAusa.com
122 Migration Lane
Centersville, WV 25420
304-267-2120

18 West Bowcock Street
Winchester, VA 22601
540-773-2328

Issue/Revision Scale

6/4/20 Issued to WV Fire Marshal

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10/23/20 For Construction

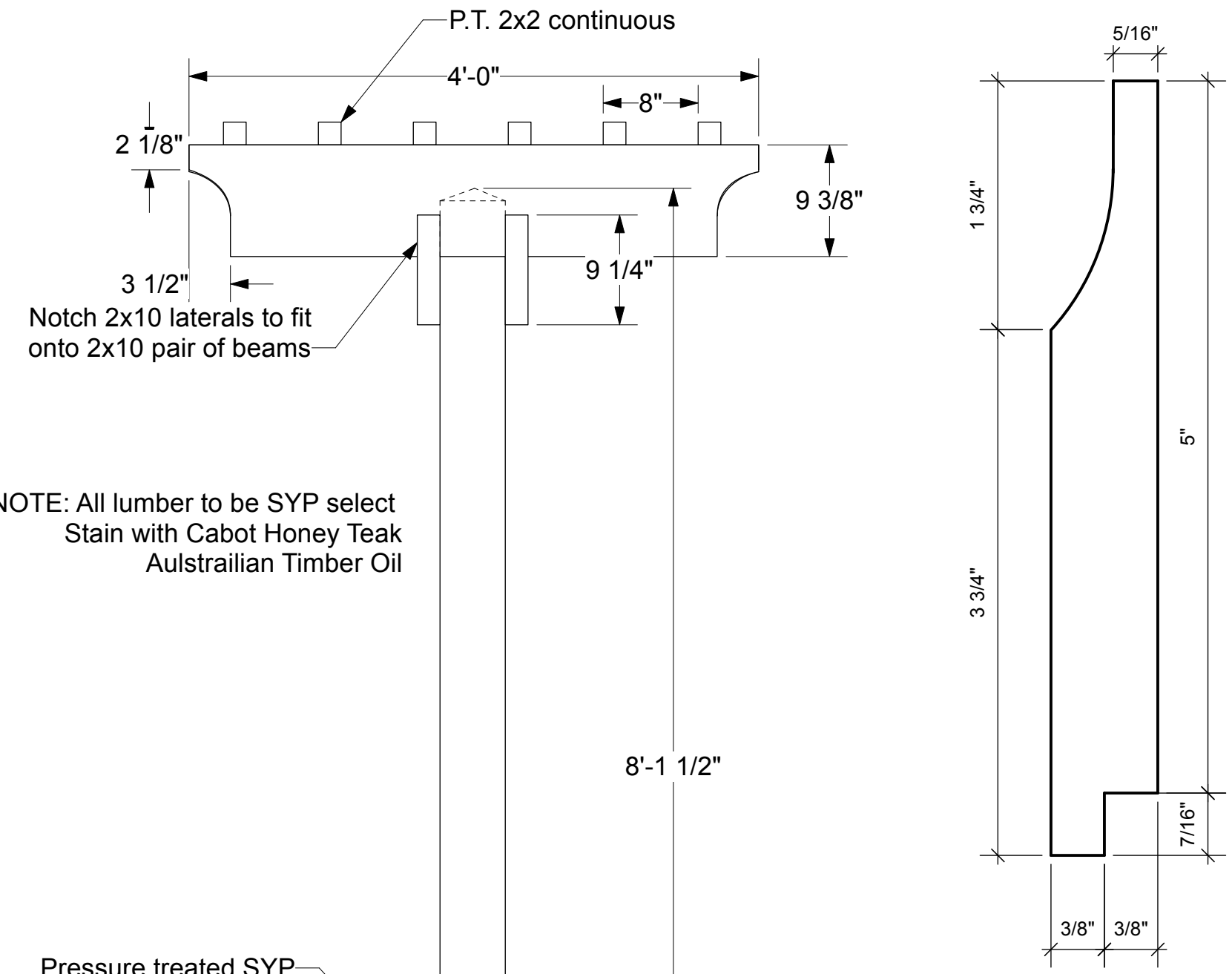
Drawing Title

STATE OF WEST VIRGINIA
MATTHEW W. GROVE
NO. 2616
REGISTERED ARCHITECT

Exterior Details

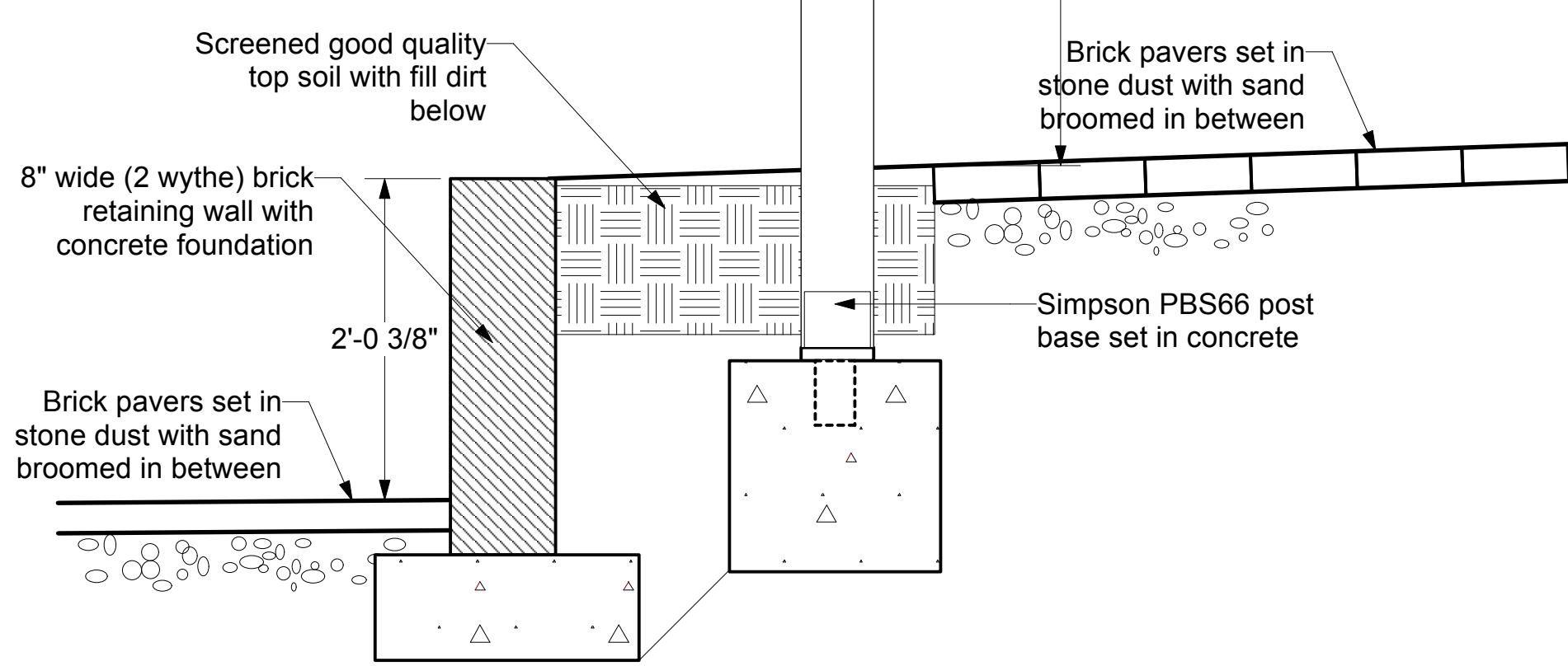
Date: May 28, 2020
Scale: As Noted
Project Number: 20820
Drawing Number

1 Trellis Detail
Scale: 1" = 1'-0"

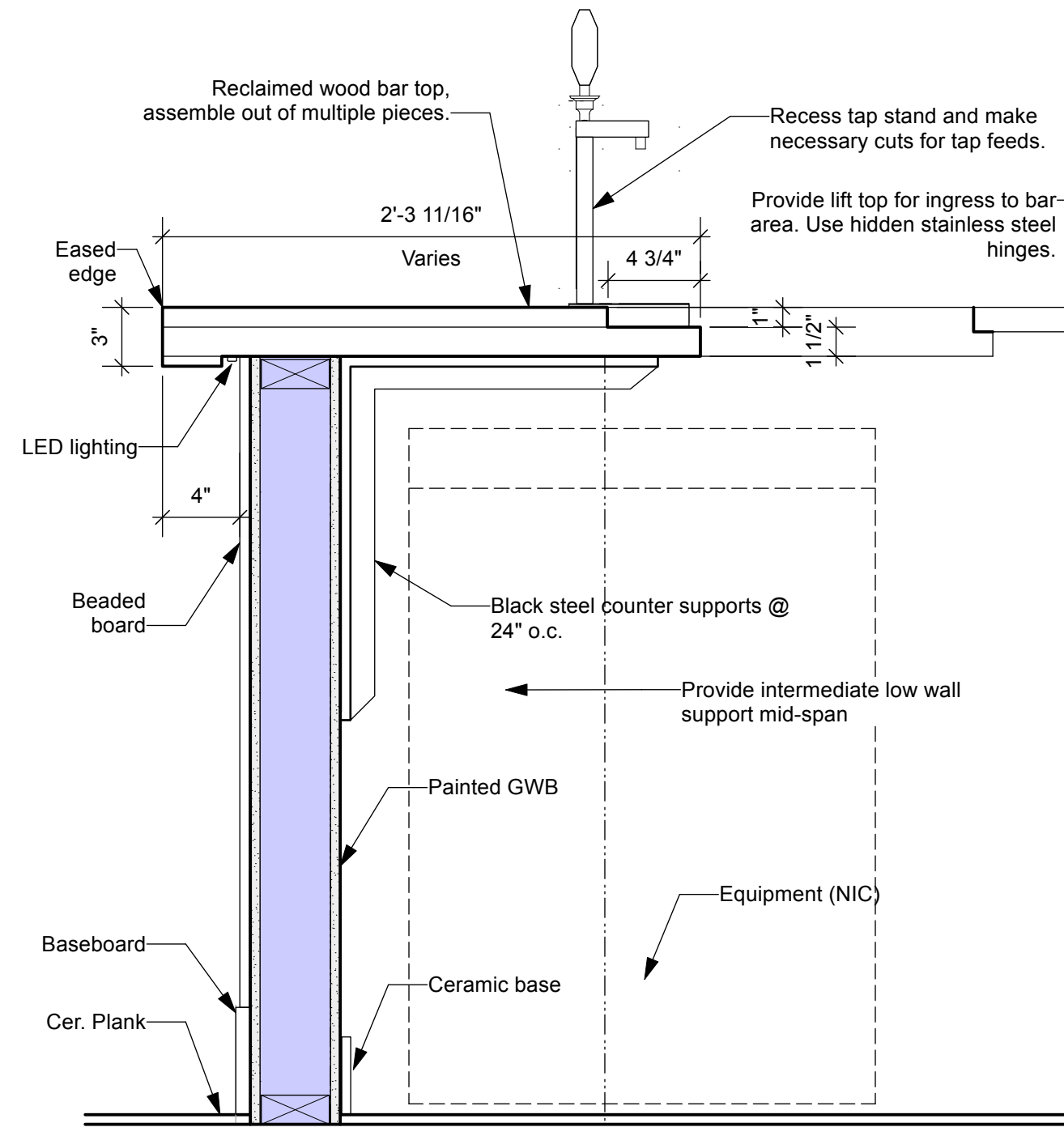


NOTE: All lumber to be SYP select
Stain with Cabot Honey Teak
Australrain Timber Oil

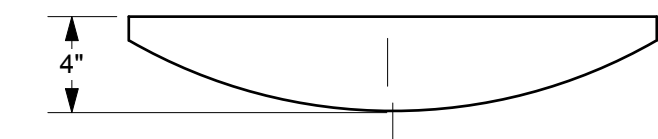
2 German Siding Detail
Scale: Actual Size



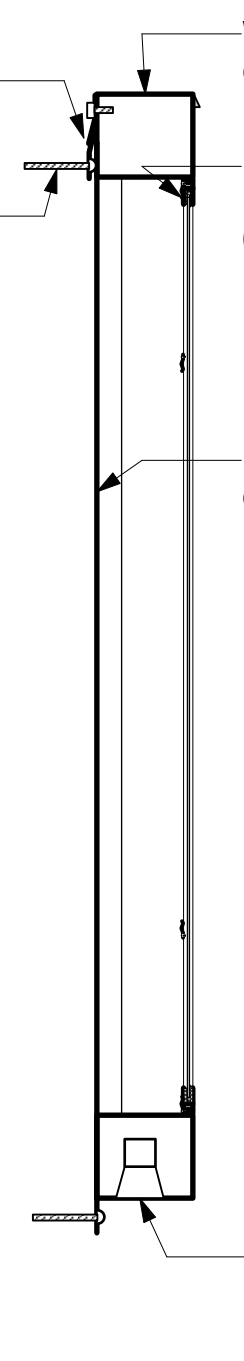
3 Bar Counter Detail
Scale: 1 1/2" = 1'-0"



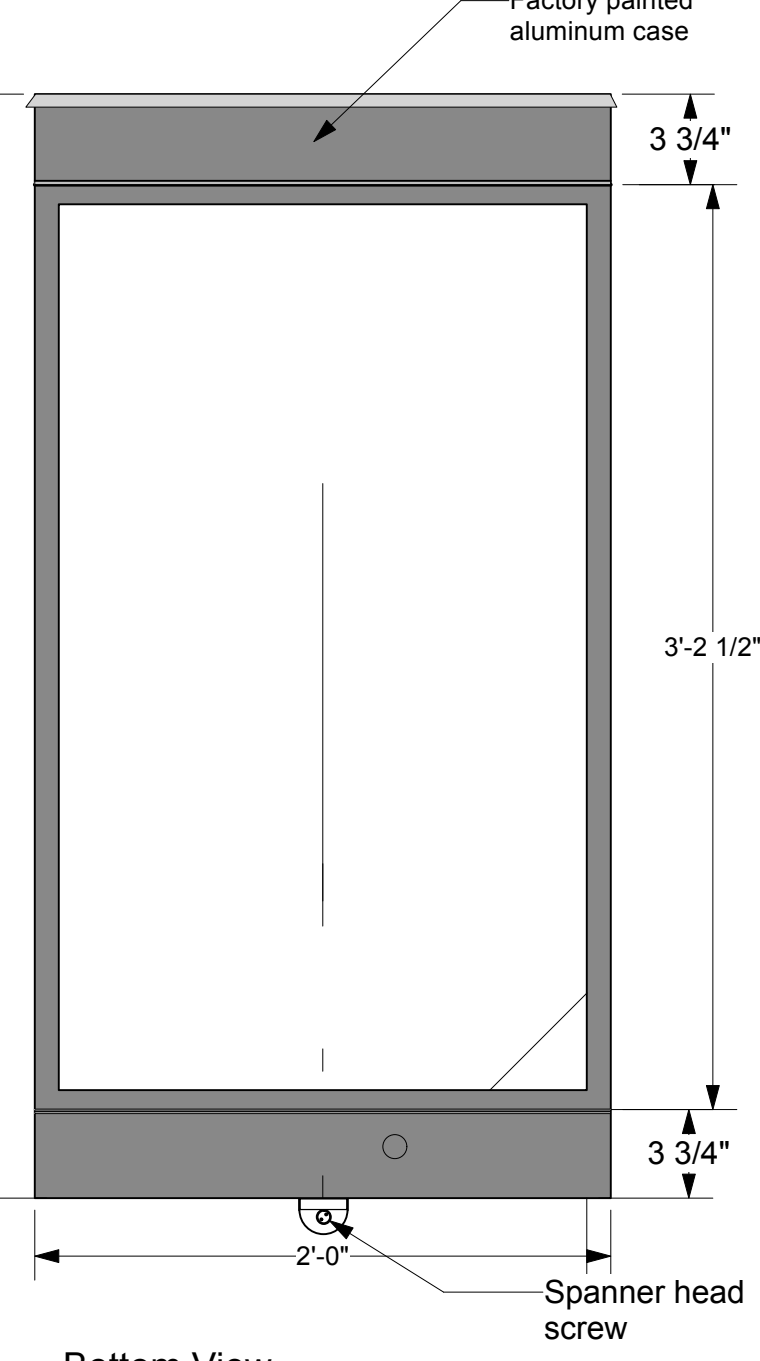
Top Plan



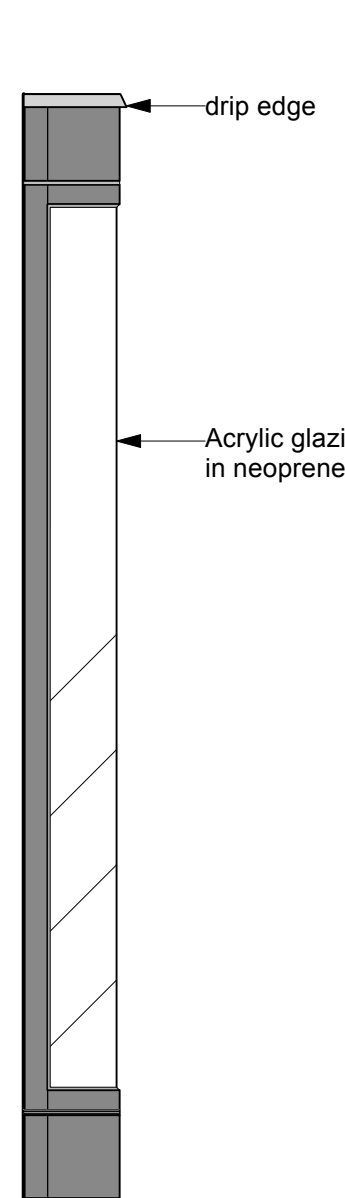
Section



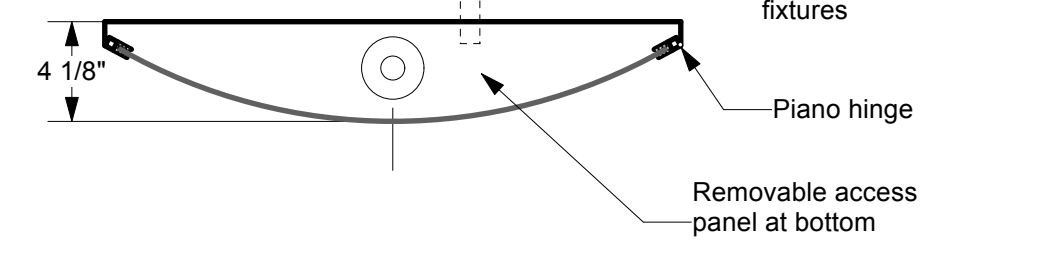
Front Elevation



Side Elevation

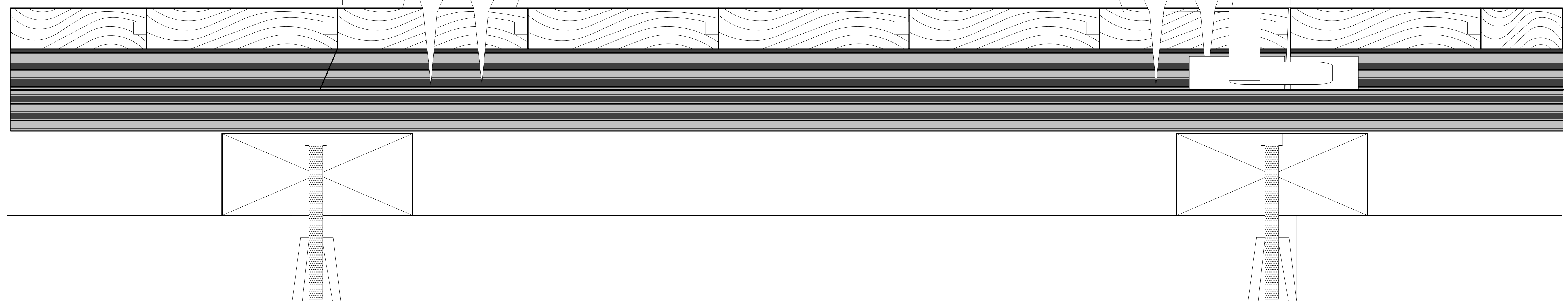


Bottom View



4 Poster Case Detail
Scale: 1 1/2" = 1'-0"

1'-5 3/8"



FULLY SPRINKLERED BUILDING

NORTH (building)

Shepherdstown
Opera House
RENOVATIONS

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Shepherdstown
West Virginia

131 West
German LLC

Mech/Elect Engineer
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4 Weems Lane # 277
Winchester, VA 22601
540 247-2939

Structural Engineer
Ruckman Engineering, PLC
22-B Ricketts Drive
Winchester, VA 22601

GDA Architecture
Planning
Interiors
Landscape
Grove & Dall'Olio Architects pllc AIA, LEED AP

Matthew W. Grove | mthw@GDAaia.com • GDAaia.com
122 Migration Lane, Centerville, WV 25420 | 304-267-2120
18 West Bowcock Street, Winchester, VA 22601 | 540-773-2126

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Drawing Title

MATTHEW W. GROVE
 REGISTERED ARCHITECT

Other Details

Date: May 28, 2020
Scale: As Noted Project Number: 20820
Drawing Number

A6.3