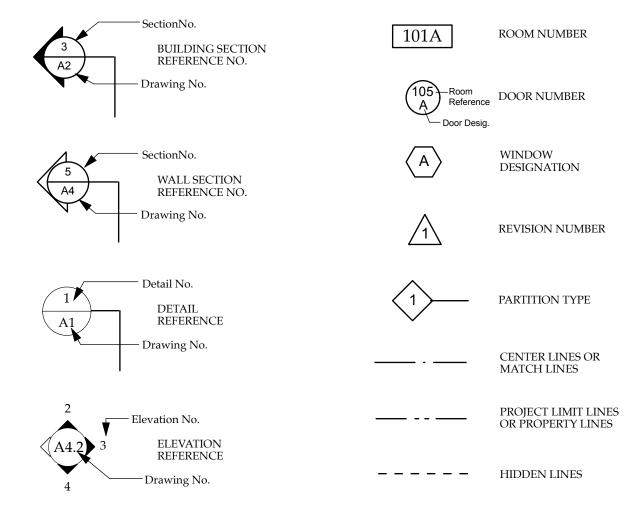
MATERIALS LEGEND

0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	COMPACTED GRAVEL FILL	GLASS
૾૾ૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢૢ	CONCRETE	CERAMIC TILE
	BRICK MASONRY	FINISHED WOOD
	CONCRETE MASONRY	ROUGH WOOD
\rightarrow x	MARBLE, STONE	PLASTER, GYPSUM
	METAL	BATT INSULATION
	PLYWOOD	RIGID INSULATION

SYMBOLS LEGEND



ABBREVIATIONS

NEW DOOR & FRAME

ATC	Acoustical Tile Ceiling	HM	Hollow Metal
ADJUST	Adjustable	HPL	High Pressure Laminate
AFF	Above Finish Floor	HR	Hour
ALUM	Aluminum	HW	Hardware
CPT	Carpet	INSUL	Insulation
CAB	Cabinet	JB	Junction Box
CL	Closet	MAX	Maximum
СТ	Ceramic Tile	MIN	Minimum
CLG	Ceiling	MTL	Metal
CONT	Continuous	NIC	Not in Contract
COTR	Contract Officer's Tech'l Representative	NO	Number
CMU	Concrete Masonry Unit	NTS	Not to Scale
DF	Drinking Fountain	OC	On Center
DN	Down	OH	Opposite Hand
DWG	Drawing	PLAM	Plastic Laminate
ELEC	Electrical	PT	Paint
EQ	Equal	PWD	Plywood
EQUIP	Equipment	SS	Stainless Steel
EXG	Existing	TBD	To Be Determined
FEC	Fire Extinguisher Cabinet	Temp	Tempered
FFE	Finish Floor Elevation	TYP	Typical
GA	Gauge	UON	Unless Otherwise Noted
GC	General Contractor	VCT	Vinyl Composition Tile
GL	Glass	VIF	Verify in Field
GWB	Gypsum Wallboard	WD	Wood
GWB-X	5/8" Type X Gypsum Wallboard	WR	Water Resistant

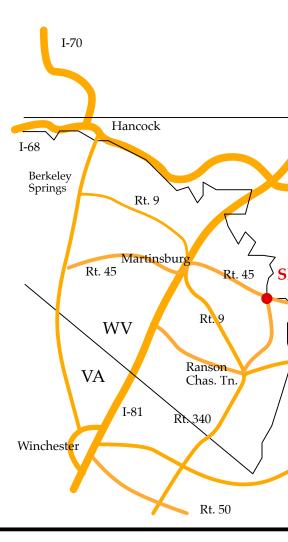
GLASS	1
CERAMIC TILE	2
FINISHED WOOD	3
ROUGH WOOD	4
PLASTER, GYPSUM	
BATT INSULATION	5

	Virginia and a business license with the Town
2.	Locating Openings: Unless otherwise dimense between adjacent walls.
3.	Schedule: The Contractor shall prepare a cor which will be reviewed at each progress pays
4.	Fire Safety: a)All materials stored at construction area, an secured in a locked area. Access to such are Contractor.

- a)Debris, dirt, and soot shall be kept to a mini construction area. b)Debris, dirt and dust to be cleaned up and any excessive accumulation. c)Tape off and poly. doorways between work
- 6. Furnish all labor, materials, appurtenances, required to complete all work so noted or de
- 7. All interior partition dimensions are from stu
- 8. Examine the conditions and preparations ma the Architect in writing of conditions detrime the work. Do not proceed with work until co performance of work.
- 9. Order all specified materials and fabricated i delay work in any manner.
- 10. Care should be taken to protect all site and o of construction. Should any damage occur, condition.
- 11. The Contractor shall make arrangements wi direct connection of service so as not to dela
- 12. Manufacturer's recommendations and insta materials used.
- 13. The Contractor shall not scale the drawings clearly indicated, notify the Architect at one receipt of explicit direction by the Architect
- 14. The Contractor shall alert the Architect a mi following field inspections: The Architect sl construction. The Architect shall verify fram board panels or block.
- 15. The Contractor shall collect all product war The Contractor shall compile this informatic payment. All work shall be warrented by t Substantial Completion.
- 16. Unless noted specifically that work is to be shall provide and install all work shown or
- 17. All penetrations through fire and smoke rat drawings for locations of fire and smoke rat
- 18. Provide and maintain in a sanitary condition facilities for use of all employees from begin to meet the requirements of the local health weatherproof enclosure doors. Shield toile fixtures within the building during constru
- 19. A retainage amount of 5% will be witheld fr in full to the Contractor upon total completi
- 20. Asbestos containing material (siding) exists vinyl siding on the older sections of the build workers encounter this ACM or other suspe Owner and Architect immediately. The envi been made available to the Contractor for th

21. Contractor is required is required to carry Bu for the full value of the existing building plus

- 23. Project close-out documents include "red lin on all labor and materials.
- 24. A final cleaning is required.
- 25. The general contractor is ultimately response which trade does the installation.



GENERAL NOTES

 All contractors doing work on site shall have a Business License from the State of West Virginia and a business license with the Town of Shepherdstown. 	Code Analysis for the Opera House March 2020
2. Locating Openings: Unless otherwise dimensioned, center doors and framed openings	County: Jefferson County
between adjacent walls.3. Schedule: The Contractor shall prepare a construction schedule prior to the start of the job which will be reviewed at each progress payment request.	Town: Shepherdstown, WV Zoning: Residential/Commercial Allowable uses: All
4. Fire Safety:a)All materials stored at construction area, and/or in any area of the building, are to be secured in a locked area. Access to such areas is to be controlled by Owner and General	Building Code: 2015 NFPA 101, WV State Fire Code 2015 IBC
Contractor. b)All materials to be stored in an orderly fashion. c)All flammable materials to be kept tightly sealed in their respective manufacturer's containers. Such materials are to be kept away from heat. d)All flammable materials to be used and stored in an adequately ventilated space.	Existing & Proposed Use Groups: First Floor: Assembly (<300 people) Second & Third Floors: Apartment Building
5. Dust Control:	Separation Required: 1 hour
 a)Debris, dirt, and soot shall be kept to a minimum, and be confined to the immediate construction area. b)Debris, dirt and dust to be cleaned up and cleared from building periodically to avoid any excessive accumulation. 	Construction Type: V (111)
c)Tape off and poly. doorways between work area and non work areas.6. Furnish all labor, materials, appurtenances, equipment, and services necessary and	Fire Suppression System: Yes (new)
required to complete all work so noted or depicted on the following drawings.	Area of allowable uses: 3,000 sf/floor
 All interior partition dimensions are from stud to stud, unless noted otherwise. Examine the conditions and preparations made for the performance of all work and notify the Architect in writing of conditions detrimental to the proper and timely completion of 	Maximum Floor Height: up to 40', actual floor height is 30' Fire Resistance Rating Requirements: frame - 0 hour*
the work. Do not proceed with work until conditions are made satisfactory for performance of work.	ext bearing walls - 0 hour int. bearing walls - 0 hour
Order all specified materials and fabricated items with sufficient lead time so as not to delay work in any manner.	floor joists & beams - 0 hr. roof beams/joists – 0
10. Care should be taken to protect all site and construction conditions throughout the course of construction. Should any damage occur, the contractor shall restore to the prior condition.	Fire Resistance Rating Provided: separation between uses: 1 hour
11. The Contractor shall make arrangements with the Architect to coordinate and direct connection of service so as not to delay the progress of the job.	First floor Area
 Manufacturer's recommendations and installation instructions shall be adhered to for all materials used. 	1. WV State Code 2.2a and table 2.2a Sprinkler Protection and Area of Limitation Approved automatic sprinkler system in accordance with
13. The Contractor shall not scale the drawings. In the event that a needed dimension is not clearly indicated, notify the Architect at once. Proceed with the affected work only upon receipt of explicit direction by the Architect.	 applicable NFPA Standards for limitation. More than 2 stories and up to 40'. 2. WV State code 2.2.d Fire alarm system 2.2 d 1 General requirements for all occupancies
14. The Contractor shall alert the Architect a minimum of 48 hours in advance of the following field inspections: The Architect shall verify floor layout of walls prior to their construction. The Architect shall verify framing installation prior to installation of wall	2.2.d.1 General requirements for all occupancies Applies in addition to NFPA 101 Life Safety Code Chapter 9
 board panels or block. 15. The Contractor shall collect all product warranties and relevant receipts on the project. The Contractor shall compile this information and turn it over to the Architect prior to final 	3. NFPA 101 12.2.2.3.1 Stairs for balcony and stage areas see 12.4.6.1.2 Stage stairs shall not exceed 42" in height, may have railing on one side only and may be built of combustible material.
payment. All work shall be warrented by the Contractor for one year from the date of Substantial Completion.16. Unless noted specifically that work is to be done by others or by the Owner, the Contractor	4. Main entrance area Exit NFPA 12.2.3.6, Other exits 12.2.3.7. Main exit must have capacity to accommodate 2/3s of occupants. Second exit must have capacity to accommodate 1/2 of occupants. Both do.
shall provide and install all work shown or described in the Contract Documents.	 General requirements for access and egrees routes within assembly areas.
17. All penetrations through fire and smoke rated construction shall be sealed. See mechanical drawings for locations of fire and smoke rated dampers.	NFPA 101 12.2.5.4
18. Provide and maintain in a sanitary condition during the construction period adequate toilet facilities for use of all employees from beginning to end of work; install at an approved location to meet the requirements of the local health department. Equip temporary toilets with	 Aisle width. NFPA 101 12.2.5.4.4. 156 occupants x .22 = 34.33" Aisle weetkinge NEDA 404 40.2.5.6.40.4
weatherproof enclosure doors. Shield toilets to insure privacy. Use of permanent plumbing fixtures within the building during construction will not be permitted.	7. Aisle markings. NFPA 101 12.2.5.6.10.1
19. A retainage amount of 5% will be witheld from each application for payment and shall be paid in full to the Contractor upon total completion of the project.	 8. Emergency lighting NFPA 101 12.2.9 9. Stage area construction. NFPA 101 12.4.6.3
 Asbestos containing material (siding) exists on east and west exterior walls beneath some vinyl siding on the older sections of the building. No work is called for in these areas. However, 	10. Projection rooms. NFPA 10112.4.7 No longer functions as projection room.
workers encounter this ACM or other suspected ACM, the General Contractor shall contact the Owner and Architect immediately. The environmental study conducted on this building has	11. Separation ceiling rating two second floor apartments. NFPA 101 Chapter 8
been made available to the Contractor for their information and records.21. Contractor is required is required to carry Builder's Risk Insurance during the construction phase	12. All separations and repairs need to be complete and all penetrations
for the full value of the existing building plus the value of improvements made. 22. Appliances such as Ranges, Washer/Dryers, Refrigerators and Microwaves are not in the contract.	throughout need to be sealed. Second and third floor Apartments
23. Project close-out documents include "red lined" as-builts, O&M manuals, a minimum one year warranty	13. Doors - NFPA 101 30.3.6.1.2 Based on building being sprinklered. Doors to
on all labor and materials. 24. A final cleaning is required.	apartments shall be not less than 20-minute rating
25. The general contractor is ultimately responsible for installation of condensate drains and should decide	14. Door closers. NFPA 101 30.3.6.2.3
which trade does the installation. 26. General Contractor shall be responsible for the fire line tap, and all costs associated with backfilling and	15. Egress and exiting building shall comply with NFPA 101 Chapter 30
road patching.	 Emergency lighting and exit signage throughout structure. All separations and repairs need to be completed and all penetrations
I-70 REGIONAL MAP I-81 Not To Scale	throughout need to be sealed.All electrical work shall be performed by a WV Licensed Electrician
	19. All sprinkler work shall be performed by WV Licensed Sprinkler Worker.
PA	20. All HVAC work shall WV licensed.
Hancock MD	21. All Alarm System work shall be performed by WV Licensed Worker
Berkeley Springs I-70	Minimum Egress Corridor width: 44"
Rt. 9	Occupant Load:
Martinsburg Rt. 45 Rt. 45 Shepherdstown To	Max. Floor Area per occupant:
Rt 9 Direpfieldstown Frederick Baltimore	1st Floor = 2435 sf (incl stair C) 226 total max. persons incl. staff Mezz Office = 232 sf / 100 = 3 Mezz Other = 400 sf / 15 = 27
	$ \begin{array}{c} 1000 \text{ s} 1713 = 27 \\ 2 \text{ d Floor} = 1772 \text{ sf} / 200 = 9 \\ 3 \text{ d Floor} = 1200 \text{ sf} / 200 = 6 \end{array} $
VA Ranson Chas. Tn. I-270	Totals = 271 people
I-81 Rt. 340 To	First Floor # Exits Required: 2
Winchester D.C. Rt. 9	Exit Width required: .3" per person exit width x 226 occupants = 76.8"
Rt. 9 Rt. 7 Leesburg	Actual Provided: 36" wide near stage, 36" wide from backstage, (2) 34" wide at main entry from street
	Restroom Requirements: 241 occupants / 75 = 3.21 or 4 unisex bathrooms 3 bathrooms provided on first floor (1 ADA compliant), 1 bathroom on mezzanine
	ADA Requirements: yes (1) accessible/family bathroom provided

LIFE SAFETY NOTES

LIST OF DRAWINGS

ARCHITECTURAL

- A1.1 General Notes, Legend
- A1.2 Site Plan
- A1.3 Specifications
- A2.1 Demolition Plans
- A2.2 Construction Plans
- A2.3 Reflected Ceiling Plans
- A2.4 Furniture, Finish & Equipment Plan A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A3.3 Building Sections, Stair Sections A4.1 Interior Elevations
- A4.2 Interior Elevations
- A5.1 Door & Window Schedules
- A5.2 Finish Schedule, Details & Partition Types A6.1 Interior Details
- A6.2 Exterior Details
- A6.3 Other Details

STRUCTURAL

- S.1 Foundation & Mezzanine Plans
- S.2 Second, Third & Roof Framing Plans
- S.3 Building Section
- S.4 Details
- S.5 Notes

MECHANICAL

- M0.1 GENERAL NOTES & SYMBOLS
- M1.1 MAIN LEVEL & MEZZANINE PLANS
- M1.2 SECOND & THIRD LEVEL PLANS
- M2.1 ENLARGED PARTIAL PLANS
- M3.1 VRV PIPING AND WIRING DIAGRAMS
- M4.1 DETAILS & SCHEDULES

PLUMBING

- P0.1 FIXTURE SCHEDULE & SYMBOLS
- SPECIFICATIONS P0.2
- P1.1 MAIN LEVEL & MEZZANINE FLOOR PLANS
- P1.2 2ND & 3RD FLOOR PLANS
- **RISER DIAGRAMS** P2.1
- DETAILS AND SCHEDULES P3.1

ELECTRICAL

- SCHEDULES, SPECIFICATIONS & NOTES E0.1 E1.1 MAIN LEVEL & MEZZANINE FLOOR PLANS
- 2ND & 3RD FLOOR PLANS E1.2
- E2.1 DETAILS & SCHEDULES

C DIN BUIL ERED SPRINKL **ULLY**

NORTH (building)

Shepherdstown



131 W. German St. Shepherdstown West Virginia

(j@[

Mech/Elect Engineer

Structural Engineer

FHC Engineering, PC 4 Weems Lane # 277 Winchester, VA 22601 540 247-2939

Ruckman Engineering, PLC 22-B Ricketts Drive Winchester, VA 22601



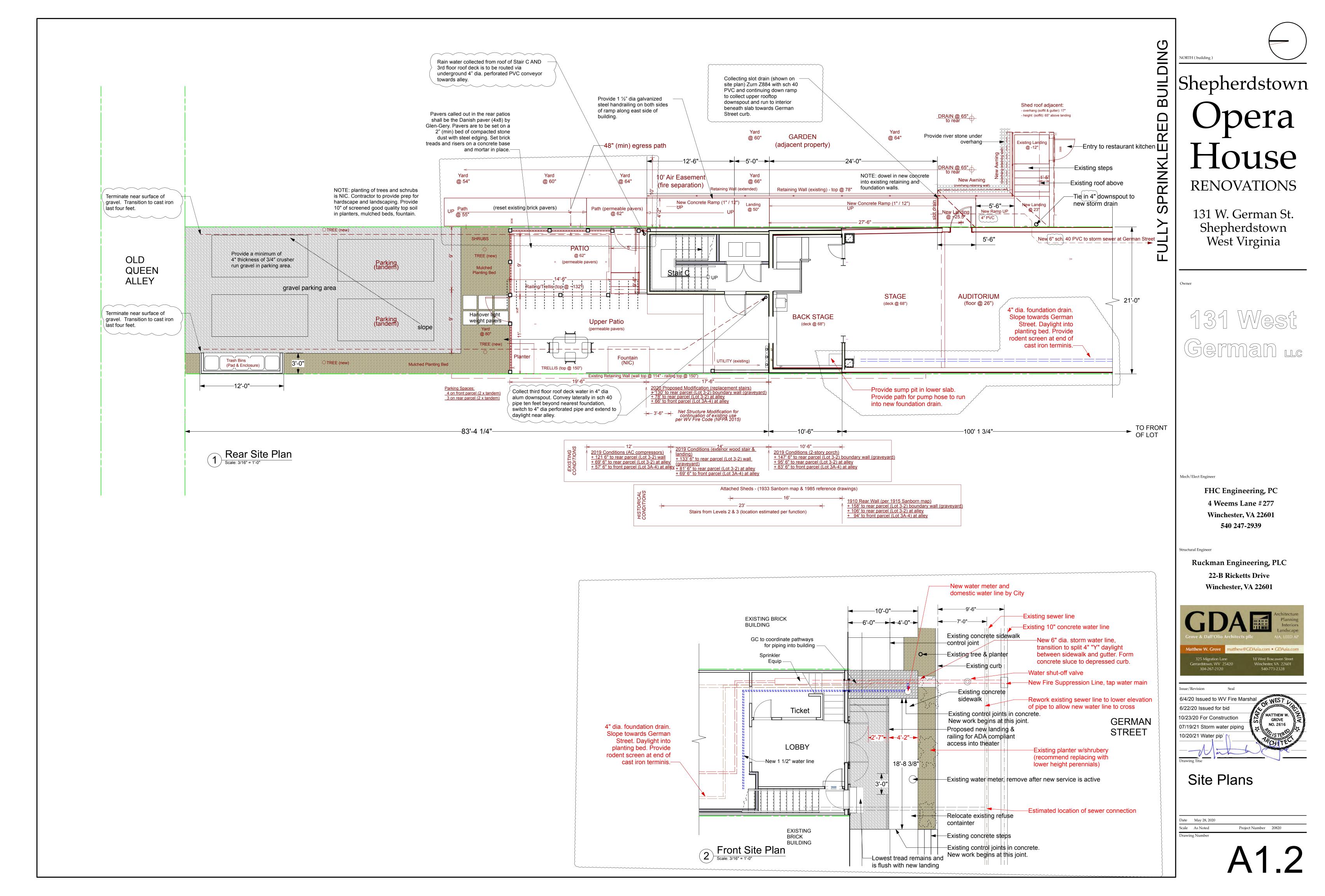
325 Migration Lane Gerrardstown, WV 25420 304-267-2120 Winchester, VA 22601 540-773-2328





Date May 28, 2020 Scale As Noted Project Number 20820 awing Numbei

FOR CONSTRUCTION 10/23/20



2.0 SITEWORK 2.1 EARTHWORK - Perform earthwork, excavating, and trenching for laying pipe, installing new utilities,	8.3 and
grading, landscaping, prepping for new concrete slabs and foundations per the construction drawings. Provide subbase materials, drainage fill, and common fill materials for slabs, pavements, and improvements.	QT
Provide suitable fill from offsite if on-site quantities are insufficient or unacceptable, and legally dispose of excess fill offsite. A. Subbase material: Gravel or crushed stone graded for intended use as subbase forpaving materials specified.	
B. Drainage fill: Washed gravel or crushed stone, 1/4" to 3/4" size; ASTM C33, Size 67. C. Common fill: Mineral soil substantially free from organic and unsuitable materials, and free from rock or gravel	Har 1-1/
larger than 2" in diameter; 80 percent passing No. 40 sieve and not more than 50 percent passing No. 200 sieve. D. Structural fill: Gravel or sandy gravel free of organic and unsuitable materials and within the following gradation	1
limits: 4" sieve, 100 percent finer by weight; 1" sieve, 60 to 100 percent; No. 4 sieve, 25 to 85 percent; No.20 sieve, 1 0 to 60 percent; No. 50 sieve, 4 to 35 percent; No. 200 sieve, 0 to 5 percent.	1
2.2 DRAINAGE - Provide materials, labor, equipment and services necessary to furnish, deliver and install interior	Har 3 P
building perimeter drainage system including drainage board, filter aggregate, fabric and bedding. Shop Drawings: Indicate dimensions, layout of piping, high and low points of pipe inverts, gradient of slope between corners and	1 P 1 P
intersections. Use perforated pipe at subdrainage system; unperforated through sleeved walls.	2 1 P
 A. Lay pipe to slope gradients noted on Drawings; with maximum variation from true slope of 1/8 inch in 1 foot. B. Bed pipe with perforations facing down. Mechanically join pipe ends. 	Har
C. Install pipe couplings. D. Install aggregate at sides, over joint and top of pipe. Provide top cover compacted thickness of 12 inches.	1 P 1
 E. Place filter fabric over levelled top surface of aggregate cover prior to subsequent backfilling operations. F. Place aggregate in maximum 8 inch lifts, consolidating each lift as specified in Civil Engineering notes. 	1
G. Do not displace or damage pipe when compacting. H. Place impervious fill over drainage pipe aggregate cover and compact.	Har 1 P
 Connect to stone media system with perforated pipe as directed by plans. J. Extend drainage pipe eastward away from building to daylight. 	1 1
K. Install drainage board as per manufacturer's recommendations.	Har
3.0 CONCRETE See Structural Specifications, and construction drawings. Provide/install sealant on concrete slabs. Apply SurePoxy HM EPL as manufactured by Kaufman.	1 1/ 1 1
4.0 MASONRY See Structural Specifications, and construction drawings. Provide/install sealant on concrete block. Apply SurePoxy HM EPL as manufactured by Kaufman.	Har
5.0 METALS See Structural Specifications, and construction drawings. 5.1 EXTERIOR HANDRAILING - Weld and paint all handrail and ballusters shown on the drawings.	Har
Railing connections to be submitted on the railing shop drawings for review and approval.	1 se 1
5.2 MISC. METALS - Provide handrail hardware, thresholds, countertops and other misc. metal items.	1
 6.0 WOOD & PLASTICS See Structural Specifications, and construction drawings. 6.1 CABINETRY - See interior elevations for images of cabinetry. Provide shop painted shaker style recessed 	1
panel fronts, drawer and door pulls, soft close drawers and doors. Provide plywood boxes w/solid wood drawers, door fronts and cabinet fronts.	Har 2 P
6.2 COUNTER TOPS - Provide solid surface countertops/backsplashes at kitchens and bathrooms by Formica.	1 S 1
6.3 FINISH CARPENTRY - All new door frames, framed openings, baseboard, wall trim and other	1
miscellaneous finish carpentry to be painted shall be made of select quality clear pine or poplar stock or an approved equal. Wood which is cracked or warped will not be accepted. Wood shall be secured with	1
finish nails, sunk, filled and sanded.	Har 1 1/
6.4 HANDRAILS - Provide and install round maple, stained handrails with brown or black brackets. Provide blocking in walls for new handrailing. Return handrailings into walls in the exit path direction.	1 1 1
6.5 BEADED BOARD - Provide and install 3/8" thick x 3 1/2" wide pine or fir tongue & groove beaded board as shown on the drawings. Prime and paint beaded board.	1 Har
6.6 FENCING & DECKING - Provide and install Seclusions fence and Enhance decking systems by Trex. Install Trex material for sleepers beneath the roof decking in a manner that allows for roof drainage. Provide shop welded steel reinforced posts and anchor plates as detailed. Provide blocking for all anchorages. Use non-rusting hardware. All fasteners shall be concealed.	1 1/ 1 1 1
 7.0 INSULATION/ROOFING 7.1 Batts should be Certainteed fiberglass or approved equal, paper faced. Insulation shall be installed according to manufacturer's recommendations to provide an R-value of 38 at all uppermost ceilings except where rafter depth limits the depth. Overlap flaps of batts onto joist face. Paper-faced R-21 (5-1/2") is to be installed at insulated stud walls. Provide unfaced batt insulation at acoustical walls. Insulation values in 2nd and 3rd floor systems shall be 12" thick R-38 unfaced except at underside of roof, use paper faced batt with moisture barrier. 	Har 1 P
7.2 Provide rigid extruded polystyrene insulation under concrete slabs and in walls as called for.	Har 2 P
7.3 Provide damproofing on the exterior face of foundation walls. Seal foundation walls with dimple board plastic	2
waterproofing sheets.	Har
7.4 Provide and install moisture barrier beneath interior concrete slabs and in new partitions.	1 P
7.5 Gutters & Downspouts: Provide & install custom run 24 gauge galvanized aluminum gutters, downspouts, gutter guards and appurtances. System to include guttering, downspouts and all necessary accessories to complete the installation as shown and noted. Run continuous, seamless lengths. Use non-corrosive fasteners.	1 1
7.6 Siding A Siding at new Stair C and other new additions to the building shall be fiber coment (an siding	Har 1 P
 A. Siding at new Stair C and other new additions to the building shall be fiber cement lap siding. Siding shall be smooth, 4" exposure and factory primed. B. Carper trim, skirt based, soffit and factory be factory primed. 	1
 B. Corner trim, skirt board, soffit and fascia shall be factory primed. C. Caulk all vertical joints where siding meets doors, windows and trim with silicone. D. Fasteners shall be stainless steel siding and trim nails. 	1 1
7.7 Provide sealants for all interior and exterior conditions for locations that may allow moisture to enter the building. Colors of sealants shall be selected by the Architect.	Har 1 P
7.8 Provide fire rated sealants for locations where pipe and conduits pass through fire rated construction.	1
7.9 Metal Roofing: Install 24 gauge natural finished galvanized aluminum roofing w/ one inch high	1 3
standing seam roof on 3/4" ext. grade plywood & 30# felt. Provide 18" wide pans. Provide and install drip edge and flashing. Provide ridge cap, eave trim, drip edges and other appurtenances.	Har
Install Berger RT300 snow birds at Metal roofing mill aluminum finish. 7.10 EPDM Roofing: Furnish <u>Sure-Seal .060 inch thick_EPDM (or TPO)</u> in the largest	1 P 1
sheet possible. The membrane shall conform to the minimum physical properties of ASTM D4637. When a 10 foot wide membrane is to be used, the membrane shall be manufactured in a single panel with no factory splices to reduce splice	1
intersections. Grade: standard. Concealed Face Color: Charcoal. Exposed Face Color: WHITE. Install 2" rigid extruded Polystyrene and 1/2" thick bond board. Provide manufacturer's 15 year Golden Seal Total System	3
Warranty covering both labor and material with no dollar limitation. Provide rake and drip flashing to complete installation.	Har 1 se
8.0 DOORS & WINDOWS8.1 WOOD DOORS - shall be of pre-primed solid paint grade doors by Simpson Door Co. Heights and widths of	1 1 pi
doors shall be as indicated on plans and elevations. Doors shall be hung square and plumb with proper clearances at all four sides. Repair existing doors due to hardware scars and prep for paint. Solid wood styles and rails with MDF	Har
paint grade paneled doors are acceptable.	1 se 1
8.2 WINDOW UNITS - Units shall be the Ultimate as manufactured by Marvin. The exterior and interior finish shall be White with white hardware. Glazing shall be sealed insulated glass constructed of one pane	Har
of clear float glass and one pane of low-E coated float glass. The insect screen frame shall be white. Install units according to the manufacturer's instructions. Install units within towards exterior plane in order to maximize the	1 4
sill depth on the interior. Provide sill and jamb extensions for 2 x 6 exterior wall areas. Installation shall include insect screens and shall be upgraded to the high transparency mesh screening.	1

.3 HARDWARE - Provide all mise nd complete the installation of the		ware and appurtenances to compliment	
	Manufacturer	Model # Finish	
lardware Set #1 - Stair A Entry -1/2 Pr. Hinges 4.5 X 4.5	Each to have: Stanley	Existing	10B
Digital Entry Closer	Yale LCN	YRC2016- MO lever 4110	10B 10B
Floor stop lardware Set #2 - Theater Entry P	Stanley air of Doors	CD80-4110 Each to have:	10B
Pr. Hinges 4.5 X 6 Pr. Fire Exit Devices	Stanley VonDuprin	FBB168 NRP 8827NL-F (less trim)	10B 10B
Pr. Pulls Fire Rated Closer	lves LCN	8115-5 4040XP-3049EDA/62G	10B 10B
Pr. Manual Wall Holders lardware Set #3 - Stair A - Lobby	lves Each to have	WS449	10B
Pr. Spring Hinges 4.5 X 4.5 Passage Set	Stanley Baldwin	2079 5000	10B 10B
Deadbolt lardware Set #4 - Janitor's Closet	Baldwin Each to have	8200 e:	10B
Pr. Spring Hinges 4.5 X 4.5 Passage Set	Stanley Baldwin	2079 5000	10B 10B
Deadbolt lardware Set #5 - Knob Set Ea	Baldwin	8200	10B
1/2 pr. Hinges 4.5 X 4.5 Privacy Set	Stanley Baldwin	CB168 5500	10B 10B
Wall Stop	lves	408	10B
lardware Set #5A - Same as 5 exc lardware Set #6 - Privacy Toilet	Each to have:	assage Set 5000 for Privacy	
set Spring Hinges 4.5 X 4.5 Mortised Lever Set	Stanley Baldwin	2079 6315	10B 10B
Wall Stop	lves	408	10B
Kick & Mop Plate Weatherstripping	lves Zero	926	10B
lardware Set #7 - Auditorium Entr Pr. Hinges 4.5 X 4.5	y Each to ha Stanley	ve: CB168	10B
Set Push/Pulls Closer	lves	8100/8200 4110F	10B 10B
Wall Stop	lves	408	10B
Kick & Mop Plate Weatherstripping	lves Zero	926 -	10B
lardware Set #8 - Auditorium Exit 1/2" Pr. Hinges 4.5 X 4.5	Each to have Stanley	e: CB168	10B
Exit Device Closer	Von Duprin LCN		10B 10B
Kick & Mop Plate Weatherstripping	lves Zero	926	10B
	Each to have:	520	
1/2" Pr. Hinges 4.5 X 4.5 Lockset	Stanley	CB168 ND70RD ATH	32D 32D
Closer Kick & Mop Plate	LCN Ives	4110F	32D 32D
Weatherstripping lardware Set #10- Stage Loading	Zero Same as Set	926	
Pr. Spring Hinges 4.5 X 4.5 Delete Closer	Stanley	2079	32D
lardware Set #11 - HVAC Closet F Pr. Spring Hinges 4.5 X 4.5	Pair of Doors Stanley	Each to have: 2079	26D
Lockset	Schlage Rockwood	ND70RD ATH 557	26D 26D
Weatherstripping	Zero	926	200
lardware Set #12 - Apartment Ent Pr. Spring Hinges 4.5 X 6	ry Each to hav Stanley	ve: 2079	10B
Mortised Lever Set Kick Plate	Baldwin Ives	6001	10B 10B
Weatherstripping	Zero	926	
lardware Set #13 - Apartment Ent Pr. Spring Hinges 4.5 X 4.5	Stanley	2079	10B
Digital Entry Kick Plate	Yale Ives	YRC2016- MO lever	10B 10B
Weatherstripping Wall Stop	Zero Ives	926 WS-11	10B
lardware Set #14 - Communicatin Pr. Spring Hinges 4.5 X 4.5	g Corridor Ea Stanley	ch to have: 2079	10B
Mortised Lever Set Kick & Mop Plate	Baldwin Ives	6005 MO	10B 10B 10B
Wall Stop Silencers	lves lves	WS-11 SR-65	10B
lardware Set #15 - Laundry Room	n Each to hav	e:	
Pr. Spring Hinges 4.5 X 4.5 PassageSet	Stanley Baldwin	2079 5000	10B 10B
Wall Stop Kick & Mop Plate	lves lves	408	10B 10B
Silencers	lves	SR-65	
lardware Set #16 - Pocket Door B set Johnson Heavy Duty sing	le track conceall	n to have: led hardware	
Edge pulls pr. Dummy pulls	Baldwin Baldwin	2.5" x 6.5"	10B 10B
lardware Set #17 - Bi-fold Pair of set Bi-fold hardware set for a Door pulls			10B
lardware Set #18 - Barn/Rolling	Each to have:		
Barn Dr Hdwr 🏻 🔾 W		Barn Track and Hardware Kit h work	Black
Door Pull Set	Smart Stan		Black

8.4 HOLLOW METAL DOORS & FRAMES Metal: best guality American Open Hearth sheet metal furniture stock, cold rolled, full pickled, annealed, stretcher leveled and free from Α. scale, blisters, pits and other defects, conforming to ASTM A-366 for door and hot rolled prime quality carbon steel for frames. C Steel reinforcements, supports, bracing and sub framing shall conform to ASTM A-36. Commercial grade hot rolled and pickled steel shall Β. conform to ASTM A-569. C. Insulating material for hollow metal doors: styrenes, cork, felt, fiber mill board, or similar type material resistant to fire, moisture, vermin, ____ \bigcap mildew and rot to meet requirements of this section. Provide required cores for labeled doors. Shop applied prime coat: fast dry primer No. 50-79 manufactured by Tnemec Company. Prime to be completely compatible with the finish D. coats of epoxy-polyamide coating. BU Surfaces concealed in masonry shall conform to SSPC-12, bituminous type. Exterior doors and frames shall be formed from galvanized sheets and shall be insulated. Gauges for hollow metal work shall be U.S. Standard. The following are gages to be used on this project: F. Doors 16 ERED 14 Door frames 2. Removable glass stops & Stirrups for adjustable anchors 14 Adjustable jamb anchors 18 Floor knees 12 Structural reinforcing Hardware reinforcement: Hinges, butts 3/16" plates PRINKL G. Jamb Anchors Frames for installation at gypsum drywall stud partitions shall be provided with 14-gauge angle struts to slab construction above and floor clip 1. angles in accordance with the approved shop drawings. Frames in masonry walls shall be provided with adjustable jamb anchors, UL approved, "T" strap or stirrup and strap type. Anchors shall be not 2. less that 12" long, 1-1/2" wide, corrugated and/or perforated. stirrups shall be spot welded to frames to support non-removable anchors. Anchoring of frames to in-place concrete shall be accomplished with anchors of suitable design in accordance with reviewed shop drawings. Provide a minimum of three (3) anchors per jamb for frames 7'-2 1/2" high and under, and one (1) additional anchor for each 30" or less of frame S height. Position anchors at level of butts and locks. Jamb anchors shall permit passage of electrical conduit as required by job conditions. H. Reinforce hollow metal frames from 3'-1" to 6'-0" wide at heads with 10 gauge steel plate or channel, welded in place. Z 8.5 ROOF HATCH - Bilco skylight roof hatch GS-50TB. Provide necessary rough-in framing, flashing and sealants to complete installation. UL 8.6 LEADED GLASS WINDOW - Replicate leaded glass window sash and glazing (Unit 1S1). Use existing leaded windows above entry doors serve as a reference to size and detail of diamond pattern. Employ skilled craftspeople to complete this work. Paint wood components. 9.0 FINISHES: 9.1 RESILIENT FLOORING - Linoleum Sheet Flooring: LinoArt[™] with NATURCote[™] II manufactured by Armstrong World Industries, Inc. The product shall consist of a polyurethane-coated homogeneous mixture of linoleum cement (linseed oil, natural tree resins, drying oil catalysts), wood flour, limestone, color pigments mixed and calendered onto a jute fabric backing. LinoÁrt Marmorette Sheet - color TBD - 98.4 x 6.5 x 0.100 Provide solid color linoleum weld rod as produced by Armstrong World Industries, Inc., and intended for heat welding of seams. Color shall be compatible with field color of flooring or as selected by Architect to contrast with field color of flooring. Provide Armstrong S-761 Seam Adhesive at seams as recommended by the resilient flooring manufacturer. Use low-VOC adhesive during installation. Water based is preferred over solvent based adhesives. Determine the type of underlayment selected for use by the condition to be corrected. 9.2 PORCELAIN FLOOR TILE - Tile for theater lounge, lobby and bathrooms shall be Merrill Landing by Trinity Tile. Color: Fauna Size: 4 x 48 layed in a randum pattern as wood flooring would be. Thin set tile on concrete slab. Set tiles minimum space apart, but no more than 1/8". Grout color TBD. After tile is installed, cover with heavy duty cardboard and securely tape all joints in order to maintain pristine condition of new flooring. 9.3 PORCELAIN WALL TILE - Submit samples of tile and grout for selection by the Architect. Install all units level and true with joints uniform in width and accurately aligned. The contractor shall use all necessary tile accessories. A. Theater & Mezzanine Bathroom wall tile shall be Merrill Landing by Trinity Tile. Color: TBD. Sizes as per interior elevations. Install moisture resistant GWB substrate for all wainscot tile work. Grout color TBD. B. Bathroom wall tile on the second and third floor shower surrounds shall be Allure by Trinity Tile. Tile sizes as shown on interior elevations. Provide cement board substrate. Grout color TBD. 9.4 WOOD FLOOR - 3/4" thick White Oak Live Sawn 3 1/4" wide plank flooring by Allegheny Mountain Hardwood Flooring. See pattern on FFE floor plans. Provide white oak panels permenantly attached to the 4-seat standards AND a second interchangeable floor panel without seating. See architectural details. Provide shop drawings for this and stage flooring. Provide solid wood nosings and treads. Risers and stringers and other non-flooring components shall be paint grade hardwood. All flooring fasteners shall be concealed. Provide red rosin paper between sub-floor and finish flooring. Provide oil based stain finish options. Condition flooring in space for 20 days minimum. 9.5 GYPSUM DRYWALL - All GWB shall be both glued and screwed - nails are not to be used to hold boards in place before screwing. 9.6 PAINTING: Prior to painting, the surfaces shall be wiped down with a damp cloth. All surfaces to be painted shall receive one coat primer and two finish coats (Sherwin Williams or approved equal). A. Paint materials shall conform to the restrictions of the local Environmental and Toxic Control jurisdiction. 1. Volatile Organic Compounds (VOC): VOC content of paint materials shall not exceed 10g/l for interior latex paints/primers and 50g/l for exterior latex paints and primers. 2. Lead-Base Paint: a. Comply with Section 410 of the Lead-Based Paint Poisoning Prevention Act, as amended, and with implementing regulations promulgated by Secretary of Housing and Urban Development. B. Safety: Observe required safety regulations and manufacturer's warning and instructions for storage, handling and application of painting materials. 1. Take necessary precautions to protect personnel and property from hazards due to falls, injuries, toxic fumes, fire, explosion, or other harm. 2. Deposit soiled cleaning rags and waste materials in metal containers approved for that purpose. Dispose of such items off the site at end of each days work. C. Atmospheric and Surface Conditions. Do not apply coating when air or substrate conditions are: 1. Less than 3 degrees C (5 degrees F) above dew point. 2. Below 10 degrees C (50 degrees F) or over 35 degrees C (95 degrees F), unless specifically pre-approved by the Contracting Officer and the product manufacturer. Under no circumstances shall application conditions exceed manufacturer recommendations. 3. Maintain interior temperatures until paint dries hard. 4. Do not paint in direct sunlight or on surfaces that the sun will soon warm. D. Wood: 1. Sand to a smooth even surface and then dust off. 2. Sand surfaces showing raised grain smooth between each coat. 3. Wipe surface with a tack rag prior to applying finish. 4. Surface painted with an opaque finish: a. Coat knots, sap and pitch streaks with MPI 36 (Knot Sealer) before applying paint. b. Apply two coats of MPI 36 (Knot Sealer) over large knots. 5. After application of prime or first coat of stain, fill cracks, nail and screw holes, depressions and similar defects with wood filler paste. Sand the surface to make smooth and finish flush with adjacent surface. 6. Before applying finish coat, reapply wood filler paste if required, and sand surface to remove surface blemishes. Finish flush with adjacent surfaces. E. Metals: 1. Remove oil, grease, soil, drawing and cutting compounds, flux and other detrimental foreign matter in accordance with SSPC-SP 1 (Solvent Cleaning). 2. Remove loose mill scale, rust, and paint, by hand or power tool cleaning, as defined in SSPC-SP 2 (Hand Tool Cleaning) and SSPC-SP 3 (Power Tool Cleaning). 3. Fill dents, holes and similar voids and depressions in flat exposed surfaces of hollow steel doors and frames, access panels, roll-up steel doors and similar items specified to have semi-gloss or gloss finish with TT-F-322D (Filler, Two-Component Type, For Dents, Small Holes and Blow-Holes). Finish flush with adjacent surfaces. F. Gypsum Plaster and Gypsum Board: 1. Remove efflorescence, loose and chalking plaster or finishing materials. 2. Remove dust, dirt, and other deterrents to paint adhesion. 3. Fill holes, cracks, and other depressions with CID-A-A-1272A [Plaster, Gypsum (Spackling Compound) finished flush with adjacent surface, with texture to match texture of adjacent surface. Patch holes over 25 mm (1-inch) in diameter as specified in Section for plaster or gypsum board. G. Clean, patch and repair existing surfaces as specified under surface preparation. H. Refinish areas as specified for new work to match adjoining work unless specified or scheduled otherwise. I. Sand or dull glossy surfaces prior to painting. Sand existing coatings to a feather edge so that transition between new and existing finish will not show in finished work. J. Paint Schedule 1. Drywall Surfaces: Primer: 1 coat B28 PrepRite 200, Wall Finish: 2 coats B31 ProMar 200 (semi-gloss), Ceiling Finish: 2 coats B30 ProMar 200 (flat) 2. Ferrous Metal (non galvanized): Primer: 1 coat B66 Pro-Cryl, Finish: 2 coats B66 Sher-Cryl (semi-gloss) 3. New Wood scheduled for paint: Primer: 1 coat B49 PrepRite Wall and Wood Alkyd Primer, Finish: 2 coats B31 ProMar 200 (semi-gloss) 4. Existing Wood and previously painted surfaces scheduled for paint: Primer: 1 coat B51 PrepRite ProBlock, Finish: 2 coats B31 ProMar 200 (semi-gloss) 5. Existing Wood Windows & Doors: Primer: 1 coat Y24 A-100 Exterior Oil Wood Primer, Finish: 2 coats A02 SWP Exterior Oil **10.0 SPECIALTIES** 10.1 BATH ACCESSORIES - Owner will provide and Contractor will install the following: Towel bars, towel hoops, bathroom mirrors, toilet paper holders, and grab bars at master shower. Provide blocking for all accessories when framing. 10.2 TEMPERED GLASS BATH/SHOWER DOORS - Provide and install Bosco Coppia frameless 3/8" clear swinging glass shower doors or Bosco Rotolo 3/8" semi-frameless sliding shower door as shown on plans. Finishes to match those in respective bathrooms. 10.3 LIGHT BEAM FABRIC - Trapeze Plus, color: Titanium, by Dazian (dazian.com). 10.4 FIRE EXTINGUISHER CABINETS - Provide and install 5 semi-recessed unit in Rooms 101, 105, M03, 204 & 3rd FIr Stair B. Provide Kidde 468046. **14.0** LIFTS - Shall be the Garaventa Genesis Shaftway GLV-SW-42, 90° entry/exit, large platform 42"x60", hydraulic drive system. Lower level entry shall be 41 1/8"x80"non rated door with power operator and frosted tempered glass panel. Upper level entry shall be 41 1/8"x42" gate with power operator and frosted tempered glass panel. All components to receive baked on enamel finish from CUSTOM color pallet. Recess concrete floor slab 3" below adjacent Lounge floor. Door and gate hardware to be dark bronze finish. Call/send stations wall mounted. Provide keyed option. GC to provide required blocking/framing to support mast.

NORTH (building)

Mech/Elect Engineer

Structural Engineer

Matthew W. Grove

6/22/20 Issued for bid

Date May 28, 2020

Scale As Noted

awing Numbe

10/23/20 For Construction

ssue/Revision

325 Migration Lane Gerrardstown, WV 25420

6/4/20 Issued to WV Fire Marshal

Int

Specifications

Project Number 20820

Seal

FHC Engineering, PC

4 Weems Lane # 277

Winchester, VA 22601

540 247-2939

Ruckman Engineering, PLC

22-B Ricketts Drive

Winchester, VA 22601

GDAaia.com • GDAaia.com

18 West Boscawen Street

MATTHEW W.

GROVE

NO. 2616

Winchester, VA 22601

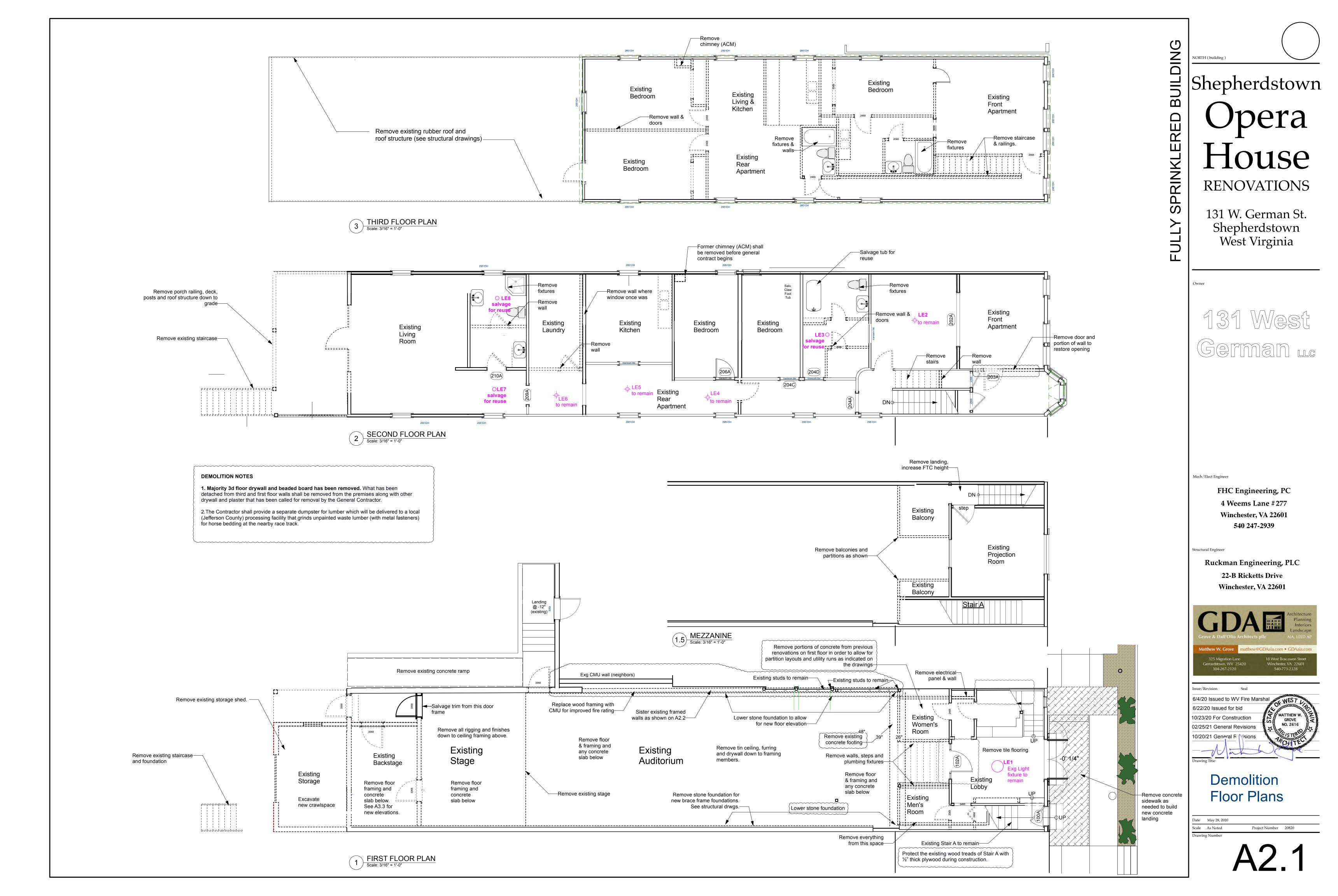
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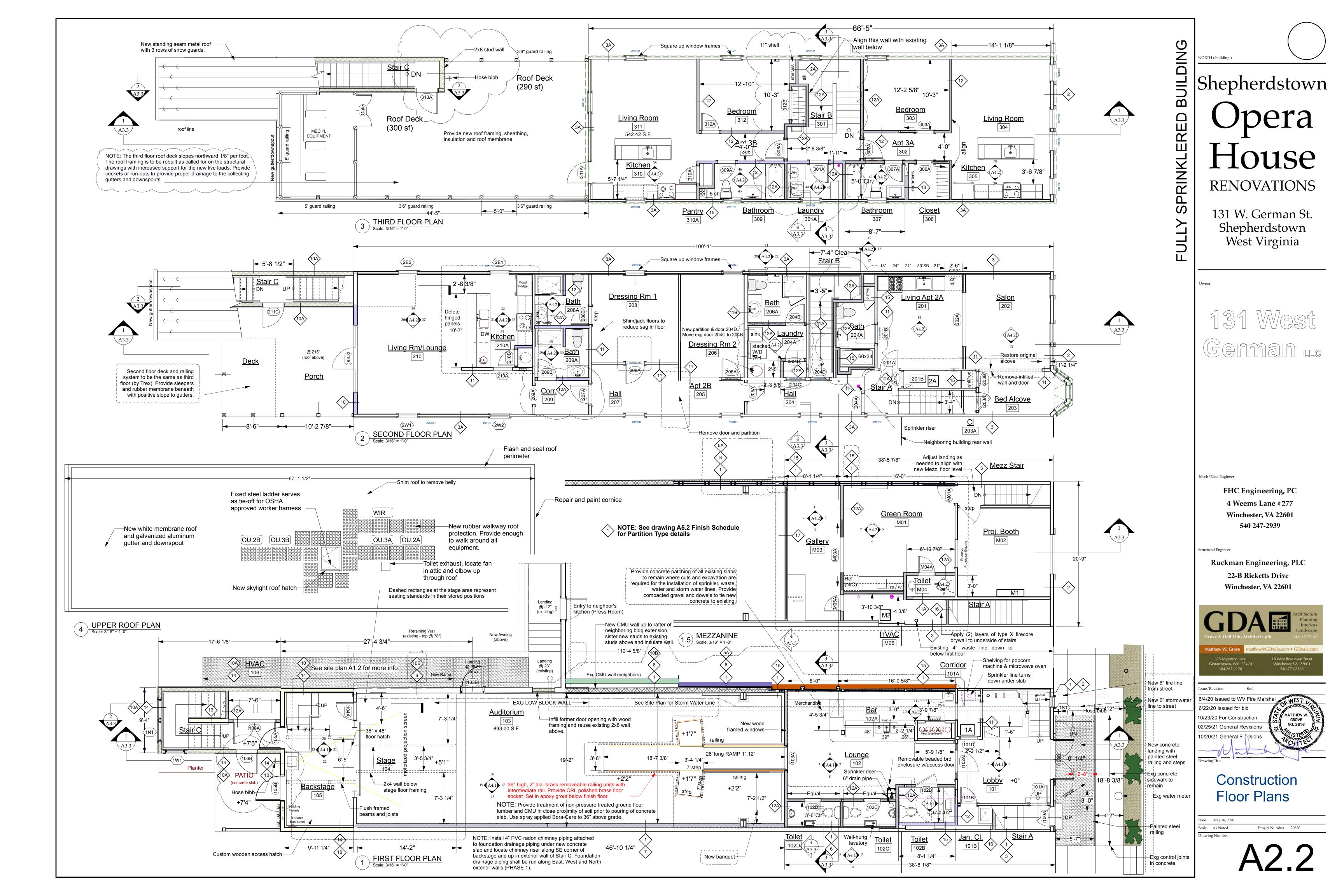
RENOVATIONS

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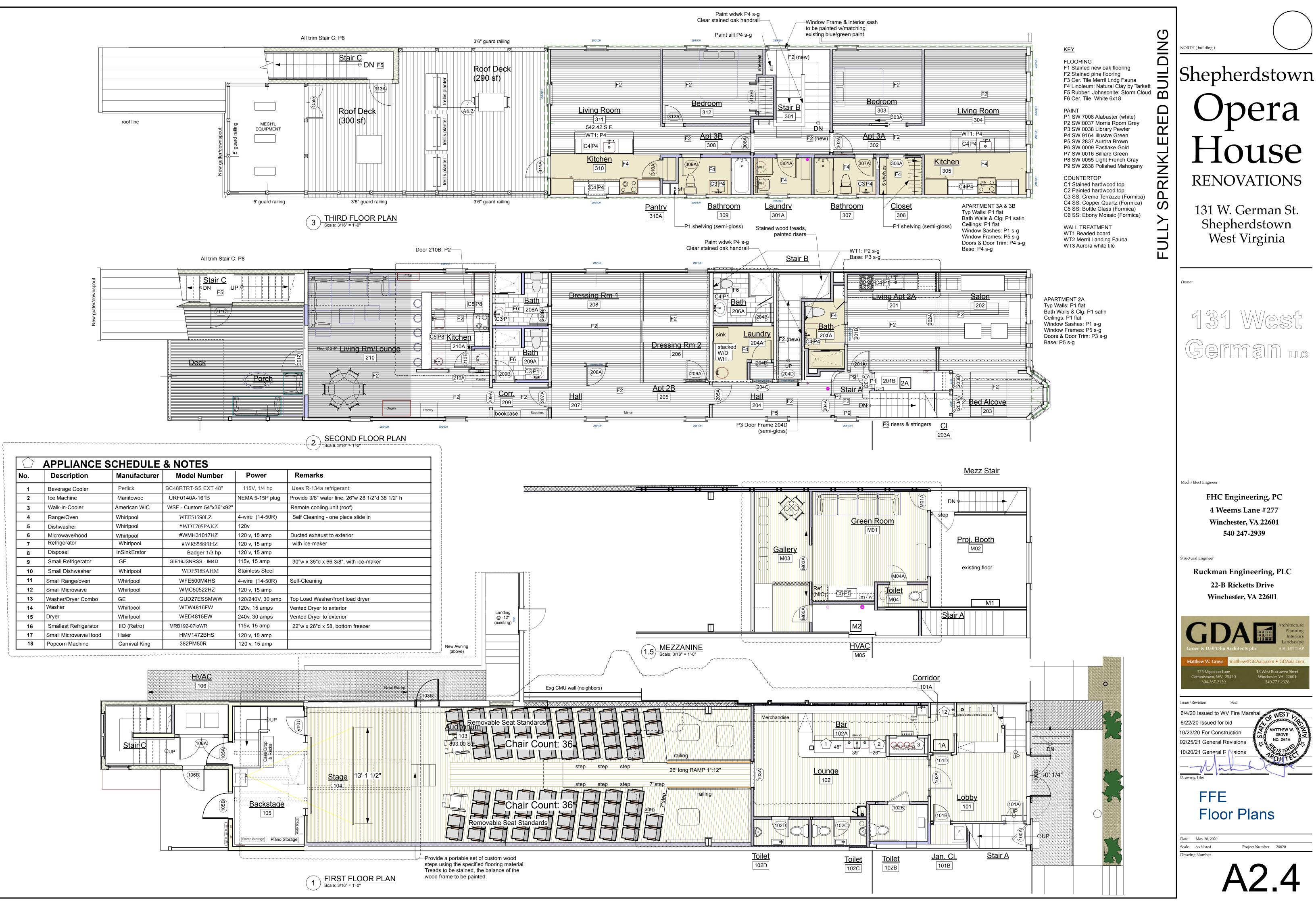
Shepherdstown

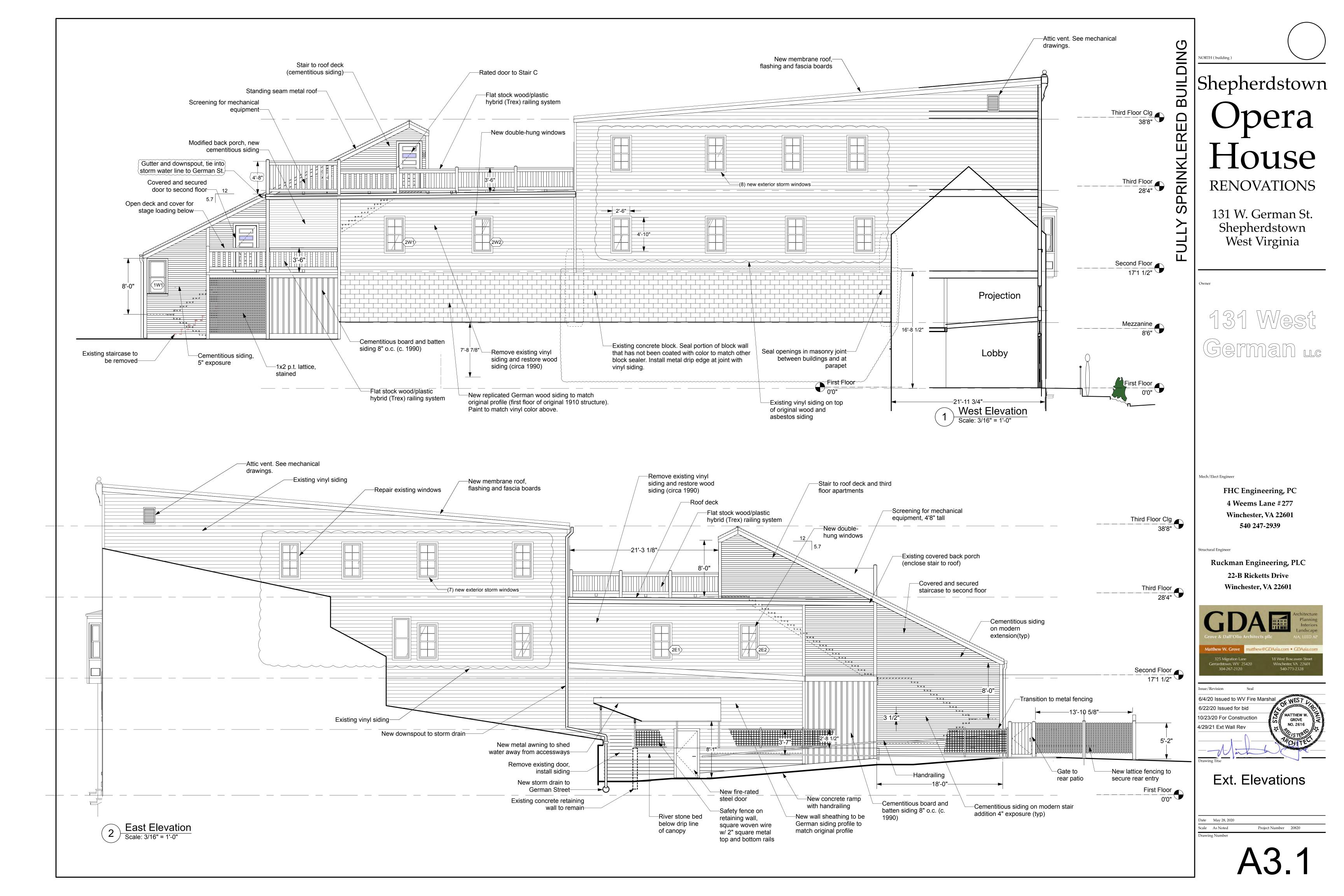
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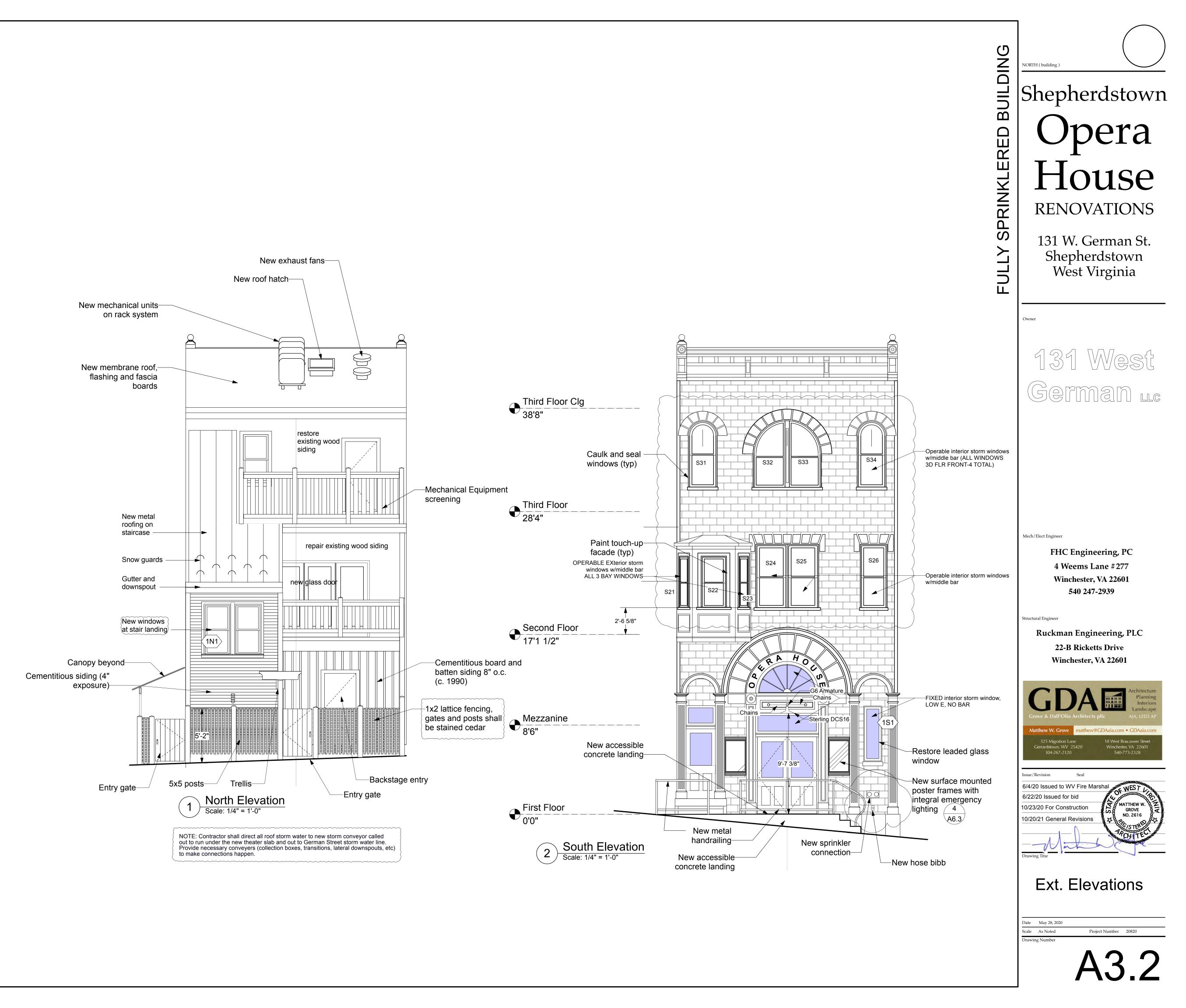


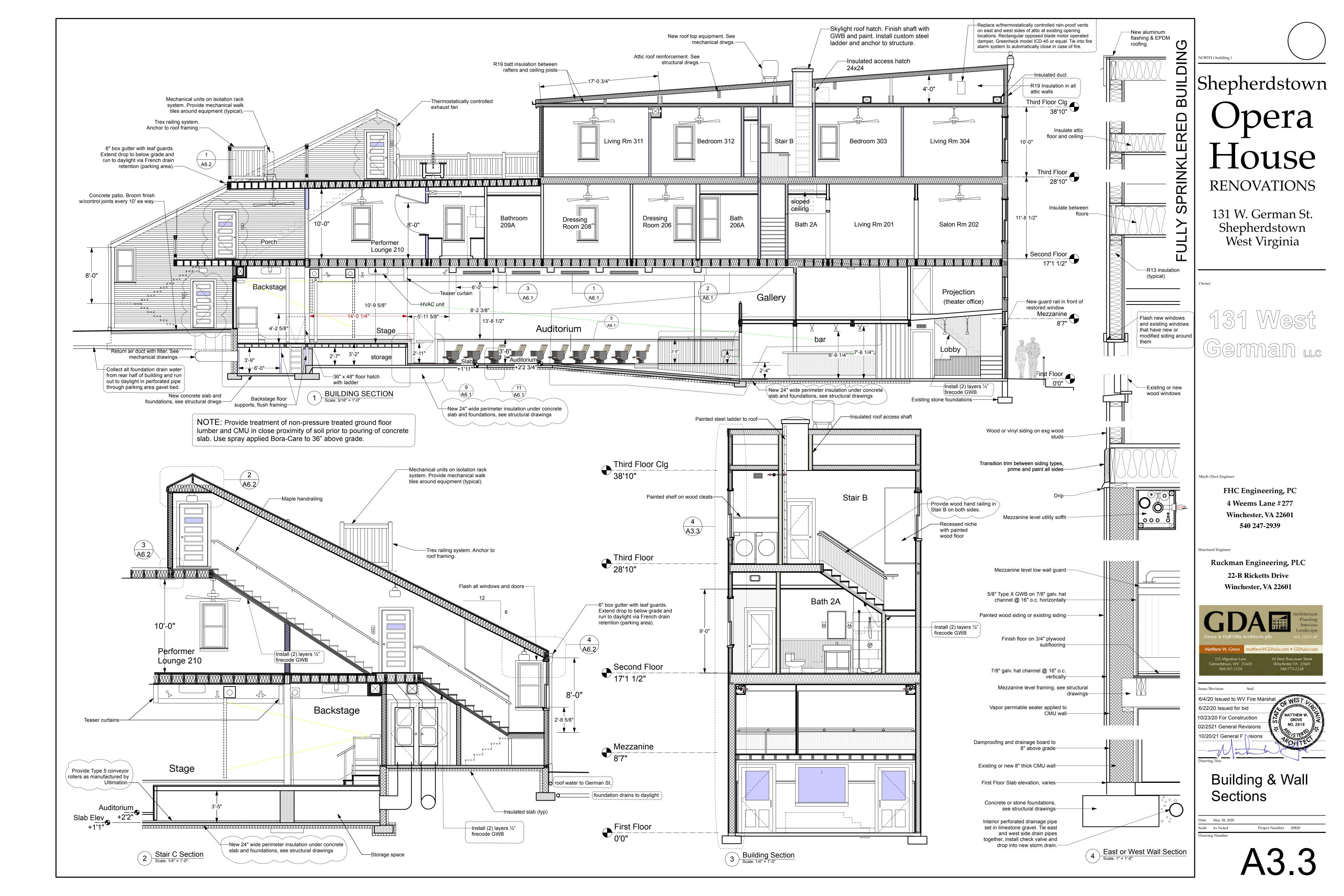


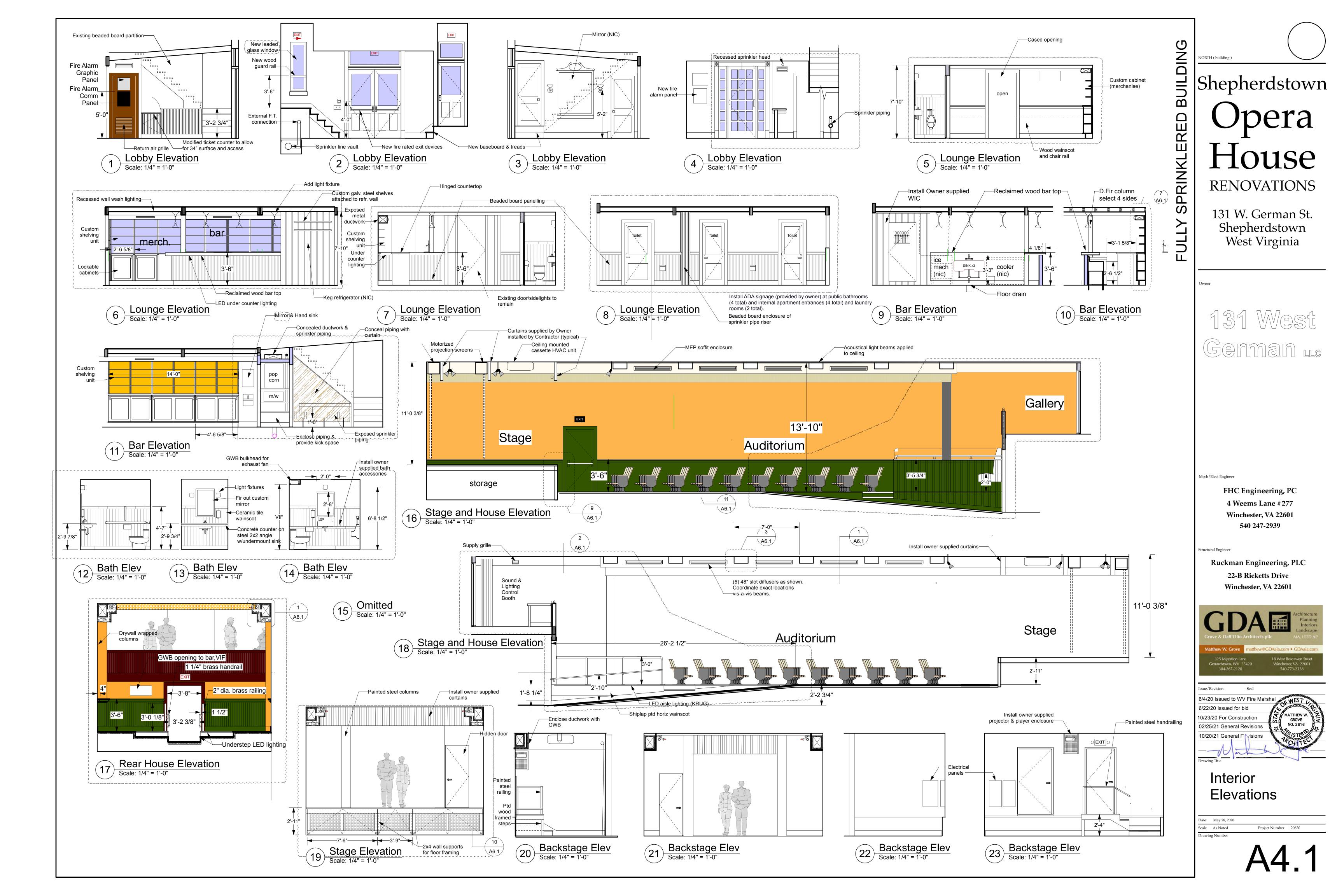


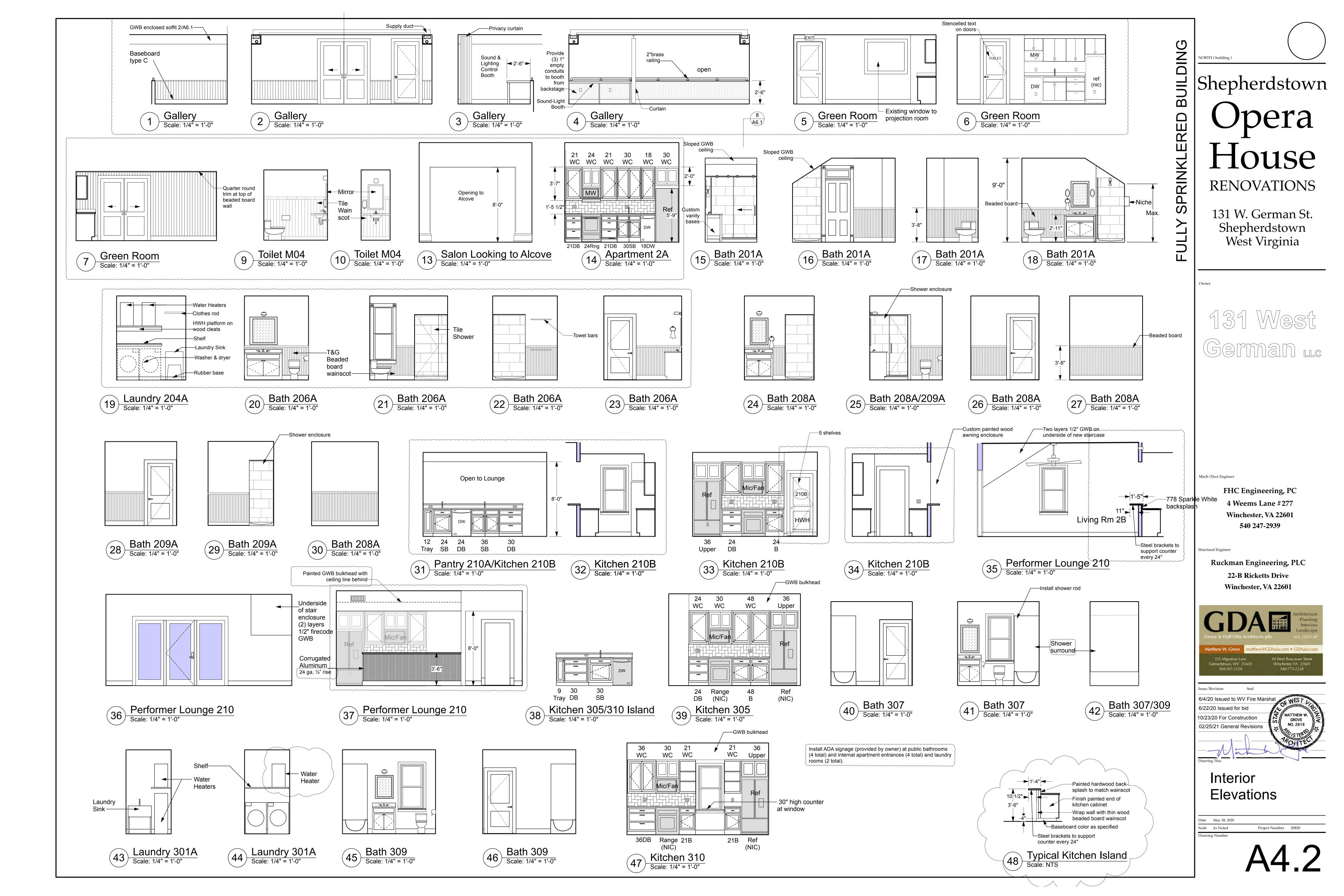




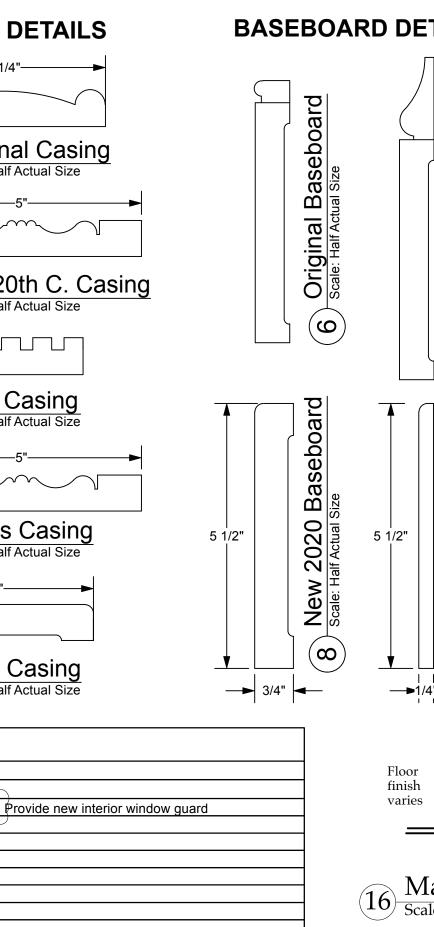


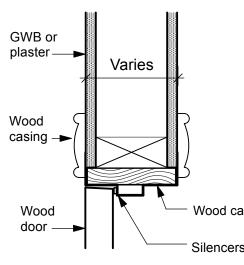


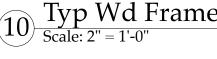


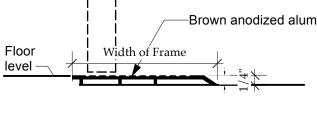


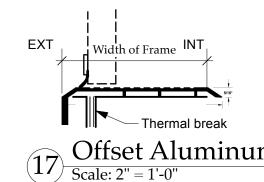
	D	oor Sche	dule																				
	Ma	n rk Door Locati	on Ty	ype	Door Material	No Width	ominal Siz Height	e Thk	Operation	Door Style Shape	Style	Glaz. Style	Door Fram Jamb Thk	Jamb Depth	Frame Type	Material	Head Detail	Frame Details Jamb Detail		Fire RatingFrameDoor SlabHW Set	RO Width	Opening RO Height	
		00A Stair A Ext Do 00B Opera House B		kg A kg A	Wood/Glass Wood/Glass	2'10" 5'8"	<u>6'8"</u> 6'8"	<u>1 3/4"</u> 1 3/4"	Swing Simple Swing Bi-part	Square Square	Solid Solid	None None	3/4" 3/4"	VIF 4 1/2" 4 1/2"	Exg 2 Exg 1	Wood Wood	13 13	<u> </u>	Exg Exg	<u>1</u> <u>2</u>	2'11 1/2" 5'9 1/2"		Existing historic doors Existing historic doors
~	10	ALobby-StairD1BJanitor's CloseD1DLobby-Ticket (et	D D	Wood Wood Wood	2'6" 2'4" 2'6"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Simple Swing Simple Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 1/2" 4 1/2" 4 1/2"	3 Exg 3 Exg 3	Wood Wood Wood	11-5 10-1 10-1	11-5 10-1 10-1	- 16 -	60 min 60 min 3 4	2'7 1/2" 2'5 1/2" 2'7 1/2"	6'8 3/4" 6'8 3/4" 6'8 3/4"	1 hr separation between use groups Inactive Panel
	10	ALobby-LoundBADA Toilet	e Exi	isting D	Wood/Glass Wood	3'0" 3'0"	7'0" 6'8"	1 3/4" 1 3/4"	Swing Simple Swing Simple	Square Square	Solid Solid	None None	3/4" 3/4"	4 1/2" 4 1/2"	Exg 3 3	Wood Wood	10-1 10-5	10-1 10-5	- 16	TBD 6	5'1 1/2" 3'1 1/2"	7'0 3/4" 6'8 3/4"	
	10	D2CToiletD2DToiletD3ALounge-Audito		D D	Wood Wood	2'4" 2'4" 3'6"	6'8" 6'8" 7'0"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Simple Swing Simple Cased Opening	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 1/2" 4 1/2" 4 1/2"	3	Wood Wood Wood/HM	10-5 10-5 11-5	10-5 10-5 11-5	16 16	6 6 - 7	2'5 1/2" 2'5 1/2" 3'7 1/2"	6'8 3/4" 6'8 3/4" 7'0 3/4"	
	10	ALounge-Addito3BAuditorium E34AStage-Backstrain	cit	F F	HM Wood	3'0" 2'6"	7'0" 6'8"	1 3/4" 1 3/4"	Swing Simple Swing Simple	Square Square Square	Solid Solid	None None	2" 3/4"	7 1/2" 4 1/2"	<u> </u>	Wood/HM Wood	<u>11-5</u> 11-5 10-5	11-5 11-5 10-5	 14 	45 min 45 min 8	3'4" 2'7 1/2"	7'0'3/4 7'2" 6'8 3/4"	This door may be trimless, acoustic treatment
	10	05ABackstage E05BBackstage Loa06ALIVAC Class	ding	F F	HM HM	3'0" 3'6" 6'0"	7'0" 7'0" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u>	Swing Simple Swing Simple	Square Square	Solid Solid	None None	2" 2"	7 1/2" 7 1/2" 4 1/2"	4 4	HM HM HM	12 12 12	12 12 12	18 17	60 min 60 min 9 10 60 min 60 min 11	3'4" 3'10" 6'4"	7'2" 7'2" 6'10"	
	10	06AHVAC Close06BStair C Exi01AApartment Er	{ C	E 21* } B }	HM HM/GI Wood	3'0" 2'8"	6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Bi-part Swing Simple Swing Simple	Square Square Square	Solid Solid Solid	None None None	<u> </u>	<u>4 1/2</u> <u>4 1/2"</u> <u>3"</u>	4 4 Exg 3	HM HM Wood	12 12 11-1	12 12 11-1	18 17 Exg 15	60 min 60 min 11 60 min 60 min 9 60 min 60 min 12	<u> </u>	6'8 3/4"	*100 sq in of glass Remove trim, install HM frame, reinstall trim
	20	D1BBathroomD1CToilet		kg B D	Wood Wood	2'8" 2'0"	6'8" 6'8"	1 3/4" 1 3/4"	Swing Simple Swing Simple	Square Square	Solid Solid	None None	3/4" 3/4"	4 1/2" 4 1/2"	Exg 2 3	Wood Wood	13 10-5	10-2 10-5	Exg 15 16	Exg 6	2'9 1/2" 2'1 1/2"	6'8 3/4" 6'8 3/4"	
	20	A Salon 03 A Closet 03 A Bedroom	Ex	- kg B kg B	- Wood Wood	7'8" 2'6" 2'8"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Cased Opening Swing Simple Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 1/2" 4 1/2" 4 1/2"	Exg 3 Exg 3 Exg 3	Wood Wood Wood	10-2 10-2 10-4	10-2 10-2 10-4	Exg Exg Exg	Exg 5	7'9 1/2" 2'7 1/2" 2'9 1/2"	6'8 3/4" 6'8 3/4" 6'8 3/4"	Adjust door to close properly
	20 20	B HVAC Close A Stair A - Ha	t Ex	kg B -	Wood -	2'2" 2'8"	6'8" 6'8"	1 3/4" 1 3/4"	Swing Simple Cased Opening	Square Square	Solid Solid	None None	3/4" 3/4"	4 1/2" 4 1/2"	Exg 3 Exg 3	Wood Wood	10-2 10-2	10-2 10-2	Exg Exg	Exg	2'3 1/2" 2'9 1/2"	6'8 3/4" 6'8 3/4"	Adjust door to close properly
	20	D4BBathroomD4CLaundryD4DBathroom		D B D	Wood Wood Wood	2'8" 2'8" 2'8"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Simple Cased Opening Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 1/2" 4 1/2" 4 1/2"	3 Exg 2 3	Wood Wood/Glass Wood	10-5 13 10-5	10-5 10-2 10-5	Flush wood Exg Flush wood	<u> 6</u> Exg 60 min 15 6	2'9 1/2" 2'9 1/2" 2'9 1/2"	<u>6'8 3/4"</u> <u>6'8 3/4"</u> 6'8 3/4"	*adjust frame for reverse swing of door
	20 20	D4DStair B OpenD5AApartment Er	ng try	- B	- Wood	2'8" 2'8"	6'8" 6'8"	1 3/4" 1 3/4"	Cased Opening Swing Simple	Square Square	Solid Solid	None None	3/4" 3/4"	4 1/2" 4 1/2"	Exg 2 3*	Wood/Glass Wood	13 11-5	10-2 11-5	Exg 15	 60 min 60 min 13	2'9 1/2" 2'9 1/2"	6'8 3/4" 6'8 3/4"	*widen door frme
	20	06ADressing Rod07AHall-Corrido08ADressing Rod	r	kg C D kg C	Wood/Glass Wood Wood/Glass	2'8" 2'8" 2'8"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Simple Swing Simple Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 1/2" 4 1/2" 4 1/2"	Exg 2 Exg 3 Exg 2	Wood/Glass Wood Wood/Glass	10-2	10-4 10-2 10-4	Exg Exg Exg	<u> Exg</u> <u> 14</u> - 5	2'9 1/2" 2'9 1/2" 2'9 1/2"	6'8 3/4"	Adjust door hardware to improve function Reverse swing of door
	20	BB Bathroom D9A Corridor	Ex	g C* -	Wood/Glass -	2'6" 2'8"	6'8" 6'8"	1 3/4"	Swing Simple Swing Simple Cased Opening	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4"	6 1/2" 4 1/2"	Salvaged 3 Exg 2	Wood Wood Wood	10-2 10-2	10-4 10-2 10-2	15 Exg	5 	2'9 1/2" 2'9 1/2"		*Owner supplied door, trim salvaged on site
	21	09BBathroom10AKitchen10BClasset		<u>g C*</u> - D	Wood/Glass	2'8" 2'8"	6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u>	Swing Simple Cased Opening	Square Square	Solid Solid	None None	3/4" 3/4" 3/4"	4 1/2" 4 1/2" 4 1/2"	Salvaged 3 Exg 2	Wood Wood	10-4 10-4	10-4 10-4	15 Exg 15	5 5A	2'9 1/2" 2'9 1/2"	6'8 3/4" 6'8 3/4"	
	21	IO B Closet IO C Rear Ext'r Er II C Stair C Entr	ry	D H C1*	Wood Wood/Gl/Metal HM/GL	2'4" 9'6" 3'0"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Simple Swing Complex Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4 3/4" 3/4"	4 1/2 4 1/2" 4 1/2"	Salvaged 3 5 3	Wood Wood/Metal Wood	10-4 10-5 10-5	10-4 10-5 10-5	Integral	<u> 5A</u> <u> 13</u> { 60 min } 9	2'5 1/2" 9'7 1/2" 3'1 1/2"		Metal clad wood *100 sq in of glass
	30	ALaundryD2AAprtmnt 3A ErD2ADadacare		D D	Wood Wood	2'8" 2'8"	6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u>	Swing Simple Swing Simple	Square Square	Solid Solid	None None	3/4" 3/4"	6 1/2" 6 1/2"	3	Wood Wood	10-5 10-5	10-5 10-5	16 15	60 min 60 min 15 60 min 60 min 13	2'9 1/2" 2'9 1/2"	6'8 3/4" 6'8 3/4"	
	30	ABedroomAPantryABathroom		D I D	Wood Wood Wood	2'6" 2'4" 2'6"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Pocket Simple Pocket Simple Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 5/8" 6 1/2" 6 1/2"	<u>6</u> 3	Wood Wood Wood	10-5 10-5 10-5	10-5 10-5 10-5	15 15 15	<u> 16</u> <u> 16</u>	2'7 1/2" 2'5 1/2" 2'7 1/2"	6'8 3/4" 6'8 3/4" 6'8 3/4"	
	30 30	AAprtmnt 3B EABathroom	try	D D	Wood Wood	2'8" 2'6"	6'8" 6'8"	1 3/4" 1 3/4"	Swing Simple Swing Simple	Square Square	Solid Solid	None None	3/4" 3/4"	6 1/2" 4 5/8"	3 3	Wood Wood	10-5 10-5	10-5 10-5	15 15	60 min 60 min 13 5	2'9 1/2" 2'7 1/2"	6'8 3/4" 6'8 3/4"	
	31	ID A Closet I1 A Roof Deck Er I2 A Bedroom	try	I H D	Wood Wood/Glass Wood	2'6" 3'0" 2'6"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/4"</u> 1 3/4"	Swing Simple Swing Simple Swing Simple	Square Square Square	Solid Solid Solid	None None None	3/4" 3/4" 3/4"	4 5/8" 4 5/8" 4 5/8"	3 3 3	Wood Wood Wood	10-5 11-5 10-5	10-5 11-5 10-5	- 17 15	5A 13 5	2'7 1/2" 3'1 1/2" 2'7 1/2"	6'8 3/4" 6'8 3/4" 6'8 3/4"	
	31 31	BClosetARoof Deck-State		I C1*	Wood HM/GL	4'0" 3'0"	6'8" 6'8"	1 3/4" 1 3/4"	Bi-fold Bi-part Swing Simple	Square Square	Solid Solid	None None	3/4" 2"	4 5/8" 7 5/8"	3 3	Wood Wood	10-5 11-5	10-5 11-5	- 17	17 	4'1 1/2" 3'4"	<u>6'8 3/4"</u> 6'10"	*100 sq in of glass
<pre>{</pre>		tteHVAC Decl01AMezz Stair03AGallery		G D D	Trex Wood Wood	4'6" 2'6" 5'0"	6'8" 6'8" 6'8"	<u>1 3/4"</u> <u>1 3/8"</u> 1 3/4"	Swing Bi-part Swing Simple Pocket Bi-part	Square Square Square	Solid Solid Solid	None None None	0" 0" 3/4"	0" 4 1/2" 4 1/2"	<u>3</u> 3 3	Wood Wood Wood	- 10-5 10-5	- 10-5 10-5	- 16 -	6 18	4'6" 2'6" 5'1 1/2"	6'8" 6'8" 6'8 3/4"	*Lockable gate latch
	M	04AToilet05AHVAC Close		D D	Wood Wood	2'4" 2'4"	6'8" 6'8"	1 3/4" 1 3/4"	Swing Simple Swing Simple	Square Square	Solid Solid	None None	3/4" 3/4"	4 1/2" 4 1/2"	3	Wood Wood	<u>10-5</u> 10-5	<u>10-5</u> 10-5	16 16	<u>6</u> 4	2'5 1/2" 2'5 1/2"	6'8 3/4" 6'8 3/4"	
	FRAN		~~~~~	OTE: all do	are not called for on new missing, shall have new cors and new windows $ \begin{bmatrix} $	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	g openings that h no relief, and		ASING D 4 1/4" Origina Scale: Half A Mid 20 Scale: Half A Oriel C Scale: Half A	Actual Size	g	Original Baseboard		TIV Scale: Half Actual Size	GWB or plaster — Wood casing — Wood door — 10 T Sc	OR FRAME	- Wood casing Silencers	GWB	Varies Varies HM frame Silencers HM Frame = 1'-0''	HM Fra Scale: 2" = 1'-0	- HM frame. - Silencers. me	GWB or plasterCasing (varies)(varies)VoodVoodVoodVoodVoodTransom bar Silencers13Transom Scale: 2" = 1'-0"
	WINE	A B DOW TYPES		C	D				J ↓ \bullet ↓ ↓ ↓ ↓ \bullet ↓ ↓ ↓	1980s Scale: Half A 4" 2020 C Scale: Half A	Actual Size	-	New 2020	alf Actual 2 1/2"	9 Tile Base Scale: Half Actual Size	Floo level	r I Width of	Frame		Floor finish varies Wood Threshold Scale: $2'' = 1'-0''$	— Wood floor		GWB Casing 5 Heat str. 1/4" thk. glass Wood sash (ptd)
	Des . 1S1 1W1	A VIF (existing frame B 30" x 60" C (2) 30" x 60"	Lo Me Sta	ocation ezzanine S air C air C	Metal Clad W	ed) Leade	d glass to mate sulated	ch transom	Low E Remarks/Op No Replicate or Yes Yes		ovide new int	erior window guard		Floor finish varies	1/4"Max.	CT		th of Frame INT		Width of Frame			Wood sill (ptd)
	2E1 2E2 2W1 2W2	B 30" x 60" B 30" x 60" B 30" x 60" B 30" x 60"	Pe Pe	erformer Lo	ounge Metal Clad W ounge Metal Clad W ounge Metal Clad W ounge Metal Clad W	Vood 5/8" in Vood 5/8" in	sulated sulated sulated sulated		Yes Yes Yes Yes					16 Mar Scale: 2	rble Thres 2" = 1'-0"	hold		Thermal break Set Alumin 2" = 1'-0"	num	18 Level Alumina Scale: 2" = 1'-0"	um		19 Wood Window Scale: 2" = 1'-0"

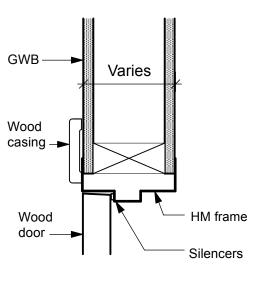




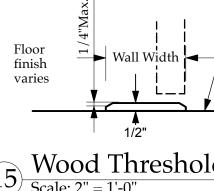


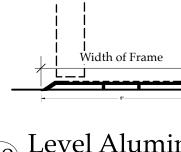


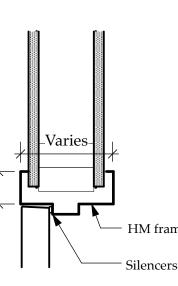




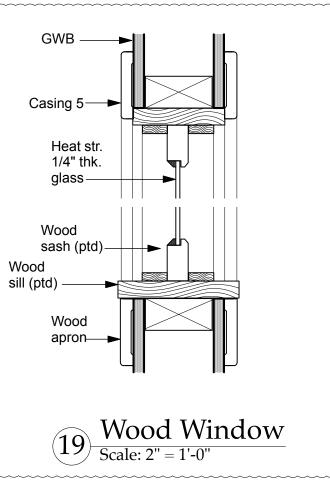












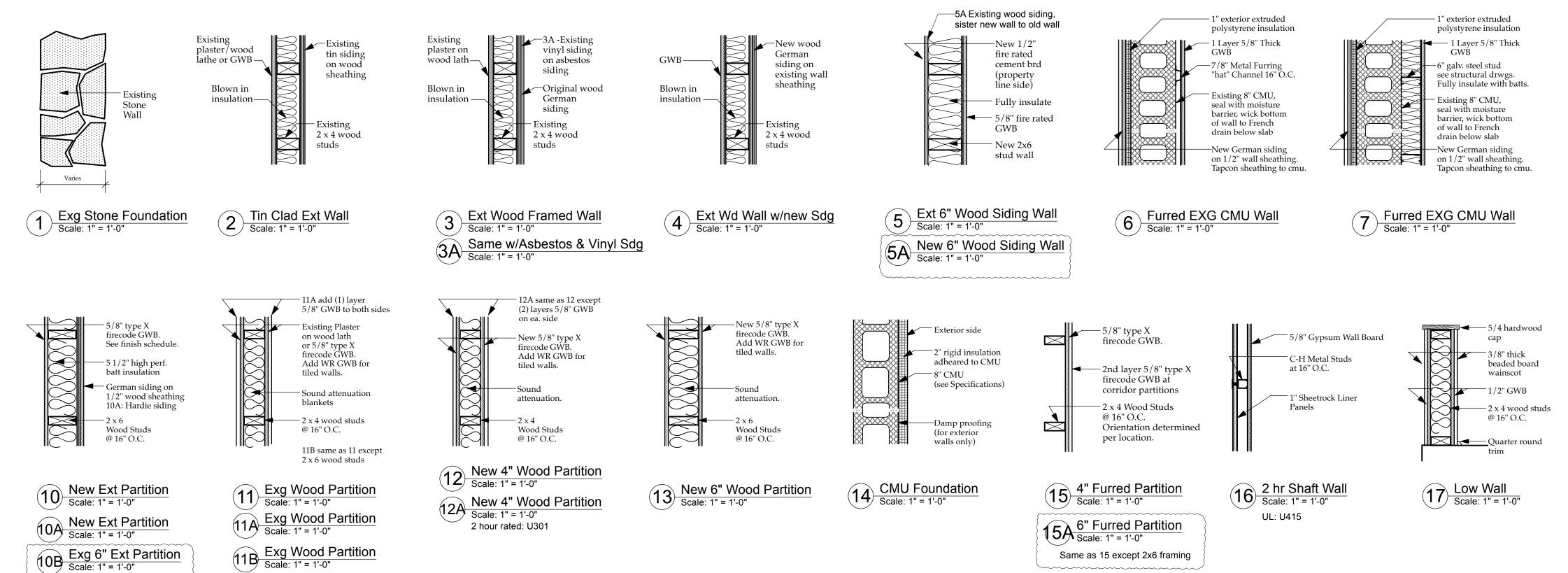
SPRINKLERED BUILDING NORTH (building) Shepherdstown Opera House RENOVATIONS 131 W. German St. Shepherdstown West Virginia FULLY 131 West German llc Mech/Elect Engineer FHC Engineering, PC 4 Weems Lane #277 Winchester, VA 22601 540 247-2939 Structural Engineer Ruckman Engineering, PLC 22-B Ricketts Drive Winchester, VA 22601 GDA rchitecture Planning Interiors Matthew W. Grove hew@GDAaia.com · GDAaia.com 325 Migration Lane Gerrardstown, WV 25420 304-267-2120 18 West Boscawen Street Winchester, VA 22601 540-773-2328 Issue/Revision Seal 6/4/20 Issued to WV Fire Marshal WEST 6/22/20 Issued for bid 10/23/20 For Construction MATTHEW W. GROVE NO. 2616 02/25/21 General Revisions Drawing Title Door & Window Schedule Date May 28, 2020 Scale As Noted Project Number 20820 Prawing Number A5. 1

Room		Floor			Base	North Wall			East Wall			South Wall			West Wall			Ceiling				Remarks
0.	Name	Material	Finish	R Value	Material	Finish code	Finish	R Value	Finish code	Finish	R Value	Finish code	Finish	R Value	Finish code	Finish	R Value	Material	Finish	Height	R Valu	e
air A	First Floor Landing	Wood	Stain	Exg Slab	Wood-A	-	-	-		Paint	-		Paint	13		Paint	13	Plaster	Paint		-	One hour rated walls and ceiling
)1	Lobby	C.T. Plank	-	Exg Slab		Plaster	Paint	-	GWB 1	Paint	-	Plaster	Paint	13		Paint	-	Plaster	Paint	Varies	-	
)1A	Corridor	C.T. Plank C.T. Plank	-	Exg Slab		GWB 2	Deint	13	GWB 2	Paint	13	GWB 2	Paint	13	GWB 2	Paint	-	GWB 1	Paint	Varies	-	
01B	Janitor's Closet	C.T. Plank	-	Exg Slab	C.Tile Wood-C	GWB2 GWB1/WD	Paint Paint	13	GWB2 GWB1/WD	Paint Paint	19	GWB 2 GWB 1/WD	Paint Paint	13	GWB2 GWB1/WD	Paint Paint	13	Plaster	Paint Paint	Varies 7'10"	- 19	
)2)2A	Lounge Bar	C.T. Plank C.T. Plank	-	11	C. Tile	GWB1/WD GWB2	Paint	-	GWB1/WD GWB2	Paint	<u>19</u> 19	GWB1/WD GWB2	Paint	-	GWB1/WD GWB2	Paint	- 15	GWB 1	Paint	7'10"	<u>19</u> 19	
)2B	ADA Toilet	C.T. Plank	-	11	C.Tile	GWB 2/CTile	Paint	13	GWB 2/CTile		13	GWB 2/CTile	Paint	13	GWB 2/CTile	Paint	13	GWB 1	Paint	7'10"	19	
) <u>2C</u>	Toliet	C.T. Plank	-	11	C.Tile	GWB 2/CTile	Paint	13	GWB 2/CTile	Paint	13	GWB 2/CTile	Paint	13	GWB 2/CTile	Paint	13	GWB 1	Paint	7'10"	19	
)2D	Toliet	C.T. Plank	-		C.Tile	GWB 2/CTile	Paint	13	GWB 2/CTile		13	GWB 2/CTile	Paint	13	GWB 2/CTile	Paint	13	GWB 1	Paint	7'10"	19	
)3	Auditorium	Wood	Stain	11	Wood-C	GWB 1	Paint	-	GWB 1	Paint	10	GWB 1	Paint	13	GWB 1	Paint	11	Plaster	-	13'8"	30	One hour rated walls and ceiling
) <u>4</u>	Stage	Wood Wood	Stain	11	Wood-C	GWB 1	Paint	- 19	GWB 1	Paint	19	GWB 1	Paint	-	GWB 1	Paint	19	Plaster	- Dubut	10'10"	30	One hour rated walls and ceiling
15	Backstage	Rubber	Stain	11	Wood-C	GWB 1 GWB 1	Paint	19 19	GWB 1 GWB 1	Paint Paint	<u>19</u> 19	GWB 1 GWB 1	paint Paint	- 19	GWB 1 GWB 1	Paint	19 19	GWB 2 GWB 1	Paint	10'10"	30 30	On a have estad availe and asiling
	Stair C	Kubber	_		Rubber	GWDI	Paint	19	GWDI	Paint	19	GWDI	Paint	19	GWDI	Paint	19	GWDI	Paint	Varies		One hour rated walls and ceiling
	Mezz. Stair	Wood	Stain		Wood-A	GWB1/Tile2	-/Paint		GWB1/Tile2	-/Paint	13	GWB1/Tile2	-/Paint	13	GWB1/Tile2	-/Paint		GWB 2	Paint	10'0"	Exg	
01	Green Room	Wood	Stain	19	Wood-C	GWB1/ IIIe2 GWB 1	Paint	- 13	GWB1/ IIIe2 GWB 1	Paint	13	GWB1/ IIIe2 GWB 1	Paint	15	GWB1/ IIIe2 GWB 1	Paint	- 13	GWB 2 GWB 1	Paint	7'5"	<u>Exg</u> 30	
[01 [02	Old Projection Booth	Wood Wood	Stain	19	Wood-C Wood-A	Exg Plaster	-/Paint	15	Exg Plaster	-/Paint	15	Exg Plaster	-/Paint	- 13	Exg Plaster	-/Paint	13	GWB 1 GWB 2	Paint	10'0"	30 Exg	
102 103	Gallery	Wood	Stain	- 19	Wood-A Wood-C	GWB 1	Paint Paint	- 13	GWB 1	-/Paint Paint	- 13	GWB 1	Paint Paint	15	GWB 1	Paint	- 13	GWB 2 GWB 1	Paint	7'5"	Exg 30	
[03 [04	Toilet	C.T. Plank	-	19	C.Tile	GWB1 GWB1	Paint	13	GWB 1 GWB 1	Paint	13	GWB 1 GWB 1	Paint	13	GWB1 GWB1	Paint	13	GWB 1 GWB 1	Paint	75	30	
. <u>04</u> .05	HVAC Closet	Wood	- Stain	19	Wood-C	GWB1 GWB1	Paint	13	GWB 1 GWB 1	Paint	13	GWB 1 GWB 1	Paint	13	GWB1 GWB1	Paint	13	GWB 1 GWB 1	Paint	75	30	
								_			-											
air A	Second Floor Landing	Wood	Stain	30	Wood-A	Plaster	Paint	-	Plaster	Paint	-	GWB 1	Paint	13	GWB 1	Paint	19	GWB 1	Paint	9'0"	30	
)1	Living Room	Wood	-	30	Wood-B	Plaster	Paint	-	Plaster	Paint	13	Plaster	Paint	-	Plaster	Paint	13	Plaster	Paint	10'0"	30	
)1A	Bathroom	Wood	Stain	<u>30</u> 30	Wood-C	GWB3/Plstr	Paint	13	Tile 2	-/Paint	13 13	Tile2/Plstr	-/Paint	- 10	Plaster	Paint	-	GWB 2	Paint	Varies	<u>30</u> 30	Apply beaded board wainscot to walls
<u>12</u>	Salon	Wood	Stain	30	Wood-B	Plaster	Paint	-	Plaster	Paint	13	Plaster	Paint	13	Plaster	Paint	-	Plaster	Paint	10'0"		*Describe 11.1 and 6 and a state of the second
)3	Bedroom	Wood	Stain	30	Wood-B	Plaster	Paint	-	Plaster	Paint	-	Plaster	Paint	13	Plaster	Paint	13	Plaster	Paint	*10'0" 9'0"	30	*Drop builkhead for ductwork enclosur
air B	Hall 2nd Floor Landing	Wood Wood	Stain Stain	30	Wood-B Wood-C	Beaded Bd GWB 1	Paint Paint	- 13	Plaster GWB 1	Paint Paint	- 13	Plaster GWB 1	Paint Paint	- 13	Plaster Plaster	Paint Paint	- 13	GWB 1 GWB 1	Paint Paint	,0	30 30	
)4A	Laundry	Linoleum	-	30	Rubber	GWB 1	Paint	19	GWB 1	Paint	13	Plaster	Paint	-	Plaster	Paint	-	GWB 1	Paint	8'0"	30	
)5	Foyer	Wood	Stain	30	Wood-B	GWB 1	Paint	13	Plaster	Paint	-	Beaded Bd	Paint	-	Plaster	Paint	13	GWB 1	Paint	9'0"	30	
)6	Dressing Room	Wood	Stain	30	Wood-B	GWB/Plstr	Paint	13	Plaster	Paint	13	GWB 1	Paint	19	Plaster	Paint	13	Plaster	Paint	10'0"	30	
)6A	Bathroom	C.T. Plank	-	30	Wood-C	GWB 2/BB	Paint	19	GWB 2/BB	Paint	13	GWB 2/BB	Paint	13	GWB 2/BB	Paint	13	GWB 1	Paint	9'0"	30	Ceramic tile shower enclosure
)7)8	Hall Dressing Room	Wood Wood	Stain Stain	30	Wood-B Wood-B	GWB/Plstr	Paint Paint	- 13	Plaster	Paint Paint	- 13	GWB/Plstr	Paint Paint	13 13	Plaster Plaster	Paint Paint	13	GWB 1 GWB 1	Paint Paint	9'0" 10'0"	30 30	
)8A	Bathroom	C.T. Plank	- Juni	30	Wood-D Wood-C	GWB/11Str GWB2/BB	Paint	13	GWB2/BB	Paint	13	GWB2/BB	Paint	13	GWB2/BB	Paint	13	GWB1 GWB2	Paint	9'0"	30	
)9	Corridor	Wood	Stain	30	Wood-B	GWB 1	Paint	-	GWB 1	Paint	13	GWB 1	Paint	-	GWB 1	Paint	13	GWB 1	Paint	9'0"	30	
09A	Bathroom	C.T. Plank	- Stain	30	Wood-C Wood-B	GWB2/BB	Paint	13 19	GWB2/BB	Paint	<u>13</u> 19	GWB2/BB	Paint Paint	13	GWB2/BB GWB 1	Paint	13 19	GWB 2	Paint Paint	8'0" 10'0"*	<u>30</u> 30	Ceramic tile shower enclosure *Portion of ceiling at 9'0", see A2.3 RCP
10 10A	Performer Lounge Pantry	Wood Linoleum	5tain	30	Rubber	GWB 1 GWB 1	Paint Paint	- 19	GWB 1 GWB 1	Paint Paint	-	GWB 1 GWB 1	Paint	-	GWB1 GWB1	Paint Paint	- 19	GWB 1 GWB 1	Paint	9'0"	30	Portion of celling at 90, see A2.3 KCP
10B	Kitchen	Linoleum	-	30	Rubber	GWB 1	Paint	-	GWB 1	Paint	19	GWB 1	Paint	13	GWB 1	Paint	-	GWB 1	Paint	9'0"	30	
air C	2nd Floor Landing	Rubber	-	-	Rubber	-	Paint	-	GWB 1	Paint	19	-	Paint	-	GWB 1	Paint	19	GWB 1	Paint	Varies	30	
)1	Stair B Floor Landing	Wood	Stain	30	Wood-C	GWB 1	Paint	13	Plaster	Paint	13	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	Varies	30	
)1A	Laundry	Linoleum		30	Rubber	GWB1 GWB2	Paint	13	GWB 2	Paint	13	GWB1 GWB2	Paint	13	Plaster	Paint	13	GWB 1 GWB 1	Paint	10'0"	30	
)2	Apartment 3A Foyer	Wood	Stain	30	Wood-C	GWB 1	Paint	13	GWB 1	Paint	13	-	-	-	GWB 1	Paint	13	GWB 1	Paint	8'0"	30	
)3	Bedroom	Wood	Stain	30	Wood-C	GWB 1	Paint	13	Plaster	Paint	13	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	10'0"	30	
) <u>4</u>)5	Living Room Kitchen	Wood Linoleum	Stain -	30	Wood-C Wood-C	GWB 1 GWB 1	Paint Paint	13 13	Plaster -	Paint -	- 13	Plaster Plaster	Paint Paint	13 13	- Plaster	- Paint	- 13	GWB 1 GWB 1	Paint Paint	10'0" 10'0"	<u>30</u> 30	
)6	Closet	Linoleum	-	30	Wood-C	GWB1 GWB1	Paint	19	GWB 1	Paint	13	GWB 1	Paint	13	Plaster	Paint	13	GWB 1	Paint	9'0"	30	
)7	Bathroom	Linoleum	-	30	Wood-C	GWB 2	Paint	13	GWB 2	Paint	13	GWB 2	Paint	13	GWB 2	Paint	13	GWB 2	Paint	9'0"	30	
) <u>8</u>)9	Apartment 3B Foyer Bathroom	Wood Linoleum	Stain	30	Wood-C Wood-C	- GWB 2	- Paint	- 13	GWB 1 GWB 2	Paint Paint	13 13	GWB 1 GWB 2	Paint Paint	13 13	GWB 1 GWB 2	Paint Paint	13 13	GWB 1 GWB 2	Paint Paint	8'0" 9'0"	30 30	
.0	Kitchen	Linoleum	-	30	Wood-C Wood-C	GWB 2 GWB 1	Paint	13	GWD2 -		-	GWB 2 GWB 1	Paint	13	GWB 2 GWB 1	Paint	13	GWB 2 GWB 1	Paint	10'0"	30	
.0A	Pantry	Linoleum	-	30	Wood-C	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	8'0"	30	
1	Living Room	Wood	Stain	30	Wood-C	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	13	GWB 1	Paint	10'0"	30	
2 air C	Bedroom 3rd Floor Landing	Wood Rubber	Stain -	30	Wood-C Rubber	GWB 1	Paint Paint	13	GWB 1 GWB 1	Paint Paint	13 19	GWB 1 GWB 1	Paint Paint	13 19	GWB 1 GWB 1	Paint Paint	13 19	GWB 1 GWB 1	Paint Paint	10'0" Varies	30 30	*Portion of ceiling at 9'0", see A2.3 RCP
ev:	Jora i loor ballullig	NUDDEL		· -	I NUDDEI		1 allit			1 41111	17		1 01111	1 17	ן טייט	1 allit	17		1 1 41111	varies		1
WB 1	Type X Gypsum Wallbo	ard taned and	finished pr	rimed 2 fi	nish coate of	paint				C.Tile	As shown	on interior ele	vations									
WB 2	Water resistant Type X C						paint							tub areas.	moisture resista	nt GWB be	hind other	tilework				
 B	Beaded Board Wainscot				,, -											200						
									1					8					-			

Same as 10 except exg studs/shthg

2. Stairway A shall have a minimum of one-hour fire rated assembly throughout. Existing plaster walls in good condition or restored to good condition shall meet 1-hour rating requirement. 3. Replace up to three wood stair treads on Stair A. Sand and refinish wood treads and landings. 4. Second and third floor 3 1/2" pine floors shall be repaired, replaced where badly damaged or missing (with antique heart pine of same dimension, sanded and refinished with 3 coats polyurethane, removing any debris or raised wood between coats.

5. New baseboard shall be installed on new walls and walls that presently do not have baseboard.



Α

