

ADDENDUM NO. 1

TO ALL PROSPECTIVE BIDDERS:

Please note the following changes, corrections, additions, and/or information in connection with the contract and be otherwise governed accordingly. Receipt of this addendum must be acknowledged in the space provided in the Bid Form.

This addendum is hereby made a part of the Contract Documents.

GENERAL INFORMATION

1. Drawing S-1.1, the Pier P-1 is listed at 16" X 20" and is to be reinforced with 6 #6 vertical reinforcing bars and #3 single box stirrup with 3 at 3" on center from the top and the balance at 12" on center. The footing F-1 is listed as 3' 6" X 4' 0" and is to be reinforced with #5 reinforcing bars placed at 9" on center in each direction. The Pier P-1 that is construction over the existing column footing is to have the ends of the #6 vertical bars epoxy anchored to the existing footing with 4" embedment and or have the pier extend to the bottom of the existing footing alongside the existing footing.
2. Drawing S-1.3, the perimeter and interior piers are 24" X 24" and are to be reinforced with 8 #6 vertical reinforcing bars anchored into the footing and #3 perimeter box stirrup and one interior single stirrup in each direction with 3 @ 3" on center from the top of the pier and the balance at 12" on center. The perimeter and interior footings are 3' 0" X 4' 0" and reinforced with #5 bars placed at 9" on center. The footing and pier are respectively integral with the wall footing and wall. Contractor to provide a 16" X 16" X 3/4" embed plate at each pier for the Outdoor Paint Building column bases to be field welded to. The plate is to have four 3/4" X 12" long headed anchors welded to the under side of the plate. The plate is to be set flush with the floor.
3. A revised Drawing A-5.1 is hereby issued reflecting the use of 6" studs on the second floor and the wall framing on the first floor. The 6" X 1 5/8" X 20 GA studs at 24" on center to align with the ceiling framing with horizontal runs of 7/8" X 20 GA furring at 30" on center.
4. On Drawing A2.1 there are no 6" studs with furring on the south wall. Metal wall panels that match the existing exterior wall panels that match existing are to be installed with 8" girts within the existing door opening with appropriate trim.
5. There is no paint kitchen included with the Outdoor Paint Building.
6. The fire protection system for the outdoor paint building is to be a fully operational hybrid design using compressed nitrogen in conjunction with a water mist. This system is currently being utilized at another location at this facility. The contractor who provided and installed this system is:

GROVE USA, LLC.  
PAINT SHOP ALTERATIONS & OUTDOOR PAINT BUILDING  
CONTRACTS NO. 24044-A GENERAL CONSTRUCTION  
JULY 19, 2024

Pletcher Fire Protection  
139 Millersville Road  
Lancaster, PA 17603  
717-587-6013

The contractor may at their discretion use another contractor/supplier for this project that complies all with applicable codes and regulations.

This fire protection system shall be supervised by a fire alarm control unit and monitored by the facility's supervised monitoring system.

7. The first floor for the office area will have a portion of the floor being existing and a portion being the new floor associated with the footing installation. This floor is to be ground smooth, diamond polished and finished with two separate coatings of a hardener densifier by Laticrete's L&M, FGS Hardener Plus or approved equal. The second floor is to have a hard smooth-trowel finish and finished with the same two coats of the hardener densifier. The paint shop work area with the new slab over the foundations is to have a hard trowel finish flush with the existing floor and finished with the same two coats of hardener densifier.
8. The excavated soil and concrete spoils are to be removed from the site and properly disposed off-site by the contractor. All disturbed area to be restored to original condition.
9. A revised drawing X1.1 is issued illustrating the finish floor elevation for the Outdoor Paint Building and perimeter grading. All disturbed areas surrounding the building shall be graded to drain and restored to match existing subgrade.
10. The existing Paint Shop Building does not require a Fire Alarm System.
11. The contractor shall provide temporary means as necessary to prevent work in the existing Paint Shop Building from affecting the ongoing painting operations in the adjacent areas.
12. The aluminum store front is to be aluminum with a medium bronze finish. All glass in this unit to be double pane tempered safety glass. The door is to be equipped with a rim panic device and lever, delay closer, ADA threshold, and weather stripping. The exterior windows are to be aluminum with a white finish with white trim. The exterior glass is to be 1" insulated low e with bronze tint.
13. The Antrim Township Land Use and Building permit and PA DEP permits will be applied for and paid for by the Owner. Contractor to provide required permit/construction drawings with Pennsylvania Engineer seals for the Outdoor Paint Building that can be used for permit submissions at no additional fee.
14. Doors for the Paint Shop office area are as follows:

Doors 5 and 6 are 3070 insulated hollow metal doors and new frames. Doors have 1/2 glass panels with 1" insulated tempered safety glass. Door hardware is panic set with

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lever handle, ball bearing hinges with no removable pins, weather stripping, ADA threshold and delay closer. Door and frame are to be painted.

Doors 8 and 10 are 3070 insulated hollow metal doors and new frames. Doors have 1/2 glass panels with 1/4" wire glass. Door hardware is panic set with lever handle, ball bearing hinges, weather stripping, ADA threshold and delay closer. Door and frame are to be painted.

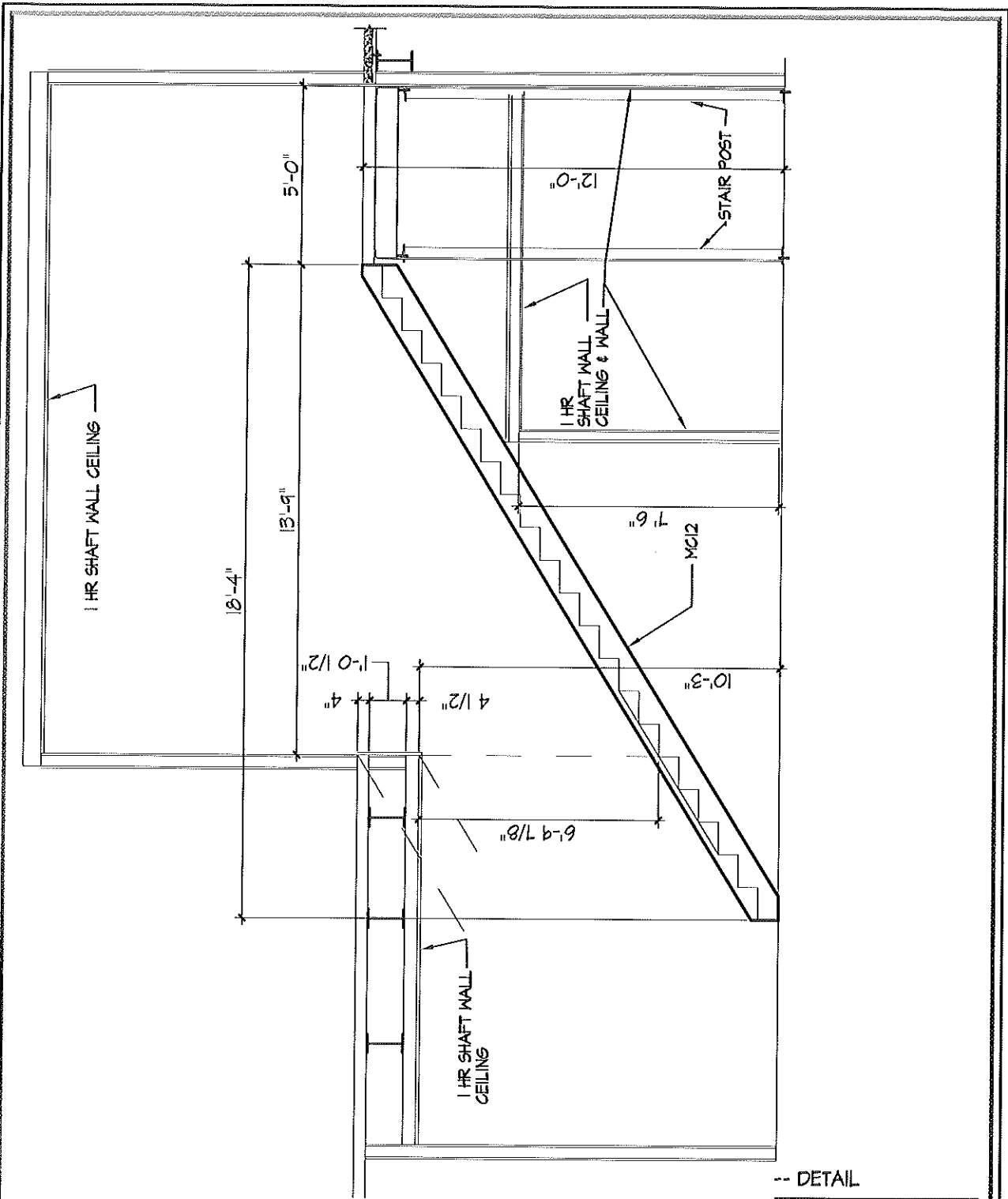
Doors 9 is 3070 hollow metal door and frame. Doors is solid. Door hardware is lever handle lock set, and ball bearing hinges. Door and frame are to be painted.

15. The Contractor is responsible for soils testing of the footing excavations and concrete testing as noted in the specifications.
16. The contractor is to provide and install two 3 axis LPI man lifts Model LP2 1414 for the Outdoor Paint Building with one on each wall.
17. The exterior exposed above grade conduits are to be galvanized IMC Conduit and fittings along with all junction boxes, straps, bracket and stand-offs.
18. Contractor shall -re-work and or provide new electrical devices, conduit and wiring as necessary to provide fully functional four new overhead doors for the Paint Shop Building.
19. On the second-floor storage room, the perimeter walls are metal panel. The new data and electrical outlets are to be set 18" above finished floor. The conduit runs for these devices are to run to the first-floor ceiling cavity below.
20. Panel EP16AA2.4-480 is assumed to be in the Outdoor Paint Building. The configuration and location of this panel will be finalized with the final paint building submittals. The panel rack is to be mounted in the adjacent area outside the actual paint booth and which will be finalized with the submittal of the paint building documents. This panel is assumed to be main lug only with no load information known at this time. A 42 single pole 20A breaker panel is to be provided.
21. The type A lighting Fixture shall be a Ledvance brand fixture with Part Number Panelf3bs045unvd8sc724gwtaa as requested to be used as the standard by the Owner. The ceiling light fixtures on the second-floor storage area is the same and shall include surface mounting kit for the specified light fixture on a drywall ceiling.
22. The gas line pressure is 30 psi and shall be welded.
23. A revised Detail 3 shown on Drawing A4.1 is attached with additional information on the fire partition wall associated with the stair walls and ceilings.
24. On Drawing A1.1, on the exterior of Door 4, a 12" thick reinforced concrete approach pad is to be constructed as per Slab Type S-1 shown on Drawing X1.2. The pad is 20' wide centered on the door and projects 16' from the wall. The pad is to slope away from the building and finish flush with existing grade.

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25. The existing fall protection framing on the ceiling of the Paint Shop Building in the area above the new crane is to remain and the tether chords are to be secured at the ceiling for future use.
26. New pipe bollards shall be installed at the interior and exterior of the four new overhead doors in the Paint Shop Building, the two overhead doors for the Outdoor Paint Building and four locations to be determined at the perimeter of the Outdoor Paint Building using Detail D on Drawing S4.1.

END OF ADDENDUM NO. 1



-- DETAIL

DRAWING TITLE

3-A4.1

DRAWING REF.



DAVID BLACK ASSOCIATES, INC.  
 501 LINCOLN WAY EAST  
 CHAMBERSBURG, PA 17201  
 PHONE: (717) 267 - 0202  
 FAX: (717) 267 - 3646  
 ENGINEERING CONSULTANTS

GROVE USA, LLC  
 PAINT SHOP ALTERATIONS & OUTDOOR PAINT BUILDING  
 SHADY GROVE, PENNSYLVANIA

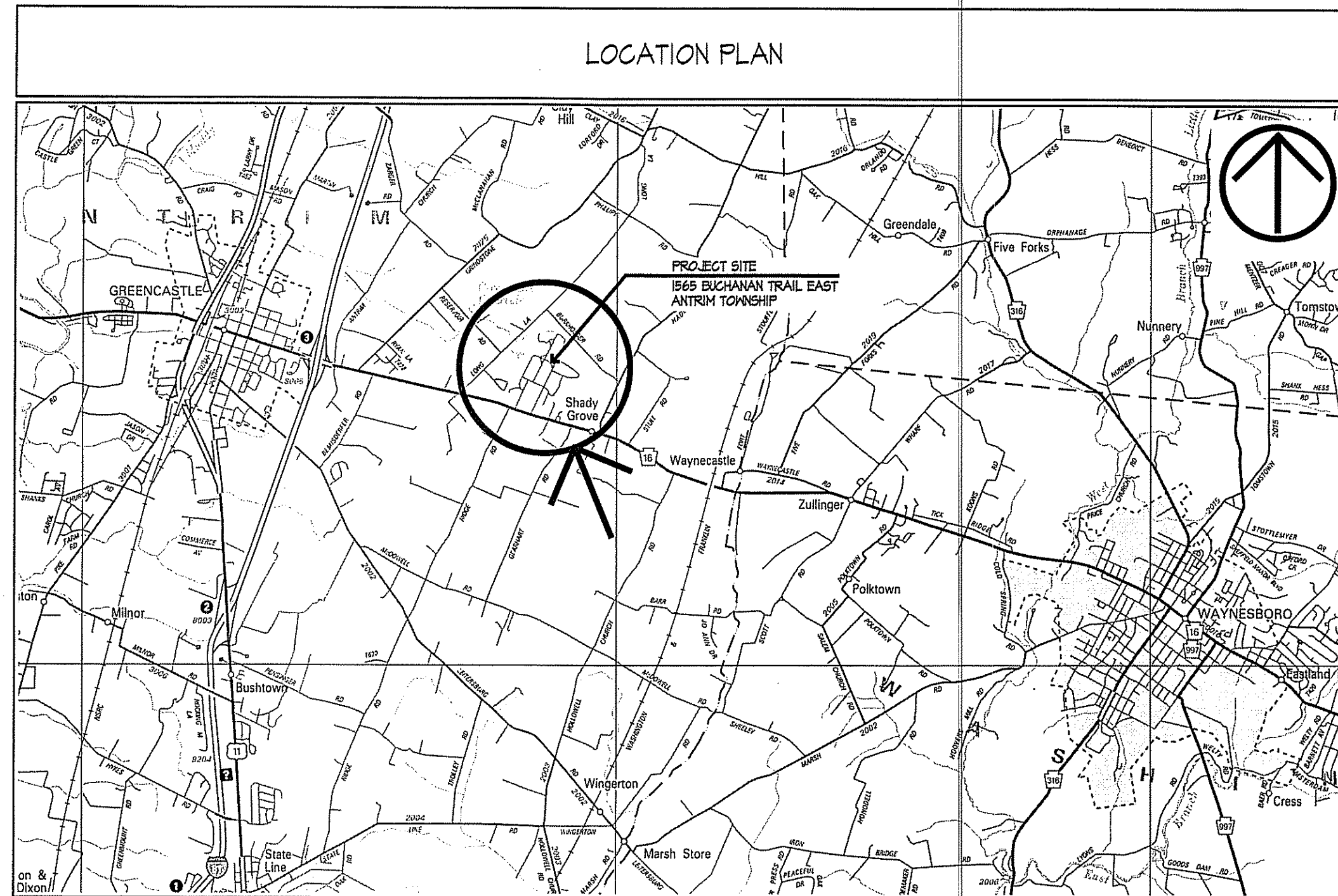
PROJECT NO.  
 24AE044

ISSUE DATE  
 JULY 19, 2024

SCALE  
 1/4"=1'-0"

SHEET  
 NUMBER

SK-01



### CODE COMPLIANCE DATA

PROJECT NAME: EXISTING PAINT SHOP ALTERATIONS  
 LOCATION: 1845 BUCHANAN TRAIL EAST, SHADY GROVE, PA 17226  
 TOWNSHIP: ANTRIM  
 COUNTY: FRANKLIN  
 OWNER: GROVE USA, LLC  
 1845 BUCHANAN TRAIL EAST  
 SHADY GROVE, PA 17226

DESIGN PROFESSIONAL IN CHARGE: DAVID J. BLACK P.E.  
 DAVID BLACK AND ASSOCIATES, INC.  
 501 LINCOLN WAY EAST  
 CHAMBERSBURG, PA 17201  
 PHONE: 717-267-0202  
 FAX: 717-267-0646  
 EMAIL: INFO@DBA-AE.COM

#### 1. BACKGROUND BUILDING INFORMATION:

PRIOR OCCUPANCY CERTIFICATE  YES  NO  
 HISTORIC STRUCTURE  YES  NO

#### 2. APPLICABLE CODES:

A. PENNSYLVANIA UNIFORM CONSTRUCTION CODE (UCC) OF 1991 WITH AMENDING STATUTES AND ADOPTED REGULATIONS, EXISTING CERTIFIED BUILDINGS WITH AN EXISTING 1 & 1 D-O/BC F-2 OCCUPANCY.  
 B. CODE COMPLIANCE PER 2018 IEBC FOR LEVEL 2 ALTERATIONS AND SECOND FLOOR ADDITION IN EXISTING BUILDING.

#### 3. USE GROUP (UG):

EXISTING F-2  
 MIXED USES:  YES  NO  
 SEPARATED USES:  YES  NO  
 INCIDENTAL USES:  YES  NO IF YES, LIST:  
 SPECIAL USES:  YES  NO IF YES, LIST:

#### 4. CONSTRUCTION TYPE (CT):

EXTERIOR BRNG. WALL CONSTRUCTION: IIB  
 EXTERIOR NON-BRNG. WALL CONSTRUCTION: 0 HOUR  
 FLOOR CONSTRUCTION: 0 HOUR  
 ROOF CONSTRUCTION: 0 HOUR  
 INTERIOR BRNG. WALL CONSTRUCTION: 0 HOUR  
 INTERIOR NON-BRNG. WALL CONSTRUCTION: -

#### 5. BUILDING AREA & HEIGHT LIMITS:

|                                   |              |              |
|-----------------------------------|--------------|--------------|
| NUMBER OF STORIES (LIMIT):        | IIB          | B - 3 ST     |
| NUMBER OF STORIES (ACTUAL):       | F-2 - 3 ST   | 2 ST         |
| BUILDING HEIGHT (LIMIT):          | 55 FEET      | 55 FEET      |
| BUILDING HEIGHT (ACTUAL):         | 55 FEET      | 55 FEET      |
| BUILDING AREA (A) (LIMIT):        | B - 28000 SF | B - 28000 SF |
| BUILDING AREA (A) (ACTUAL):       | B - 17250 SF | B - 17250 SF |
| 100% OPEN PERIMETER 75% INCREASE: |              |              |
| TOTAL ALLOWABLE AREA =            | 40250 SF     | 40250 SF     |

#### 6. SQUARE FOOTAGE - (NET)

|               |          |
|---------------|----------|
| FIRST FLOOR:  | 30645 SF |
| SECOND FLOOR: | 1608 SF  |

7. FIRE SEPARATIONS: NOT REQUIRED UNSEPARATED MIXED OCCUPANCY IN COMPLIANCE WITH ALLOWABLE HEIGHT AND AREA.

8. SPRINKLERS: NOT REQUIRED UNSEPARATED MIXED OCCUPANCY IN COMPLIANCE WITH ALLOWABLE HEIGHT AND AREA.

#### 9. ENERGY COMPLIANCE METHOD:

COMCHECK

#### 10. OCCUPANCY LOAD:

OCCUPANTS

|                |       |
|----------------|-------|
| FIRST FLOOR:   |       |
| MANUFACTURING: | 153 P |
| OFFICE:        | 16 P  |
| TOTAL:         | 169 P |
| SECOND FLOOR:  |       |
| STORAGE:       | 5 P   |

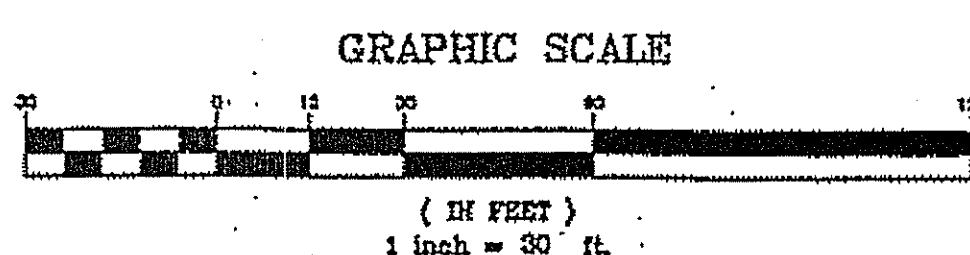
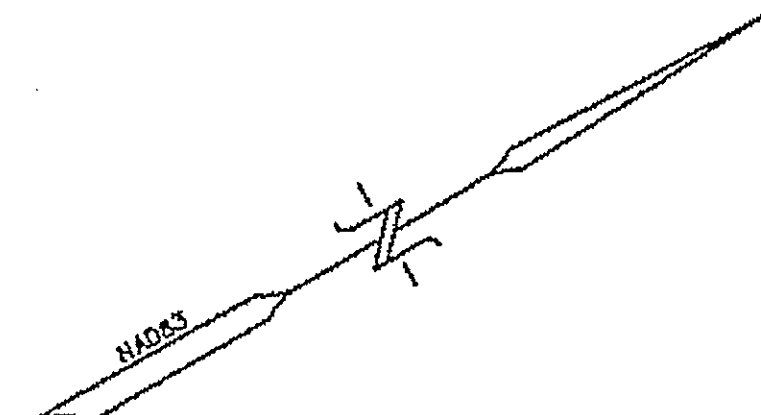
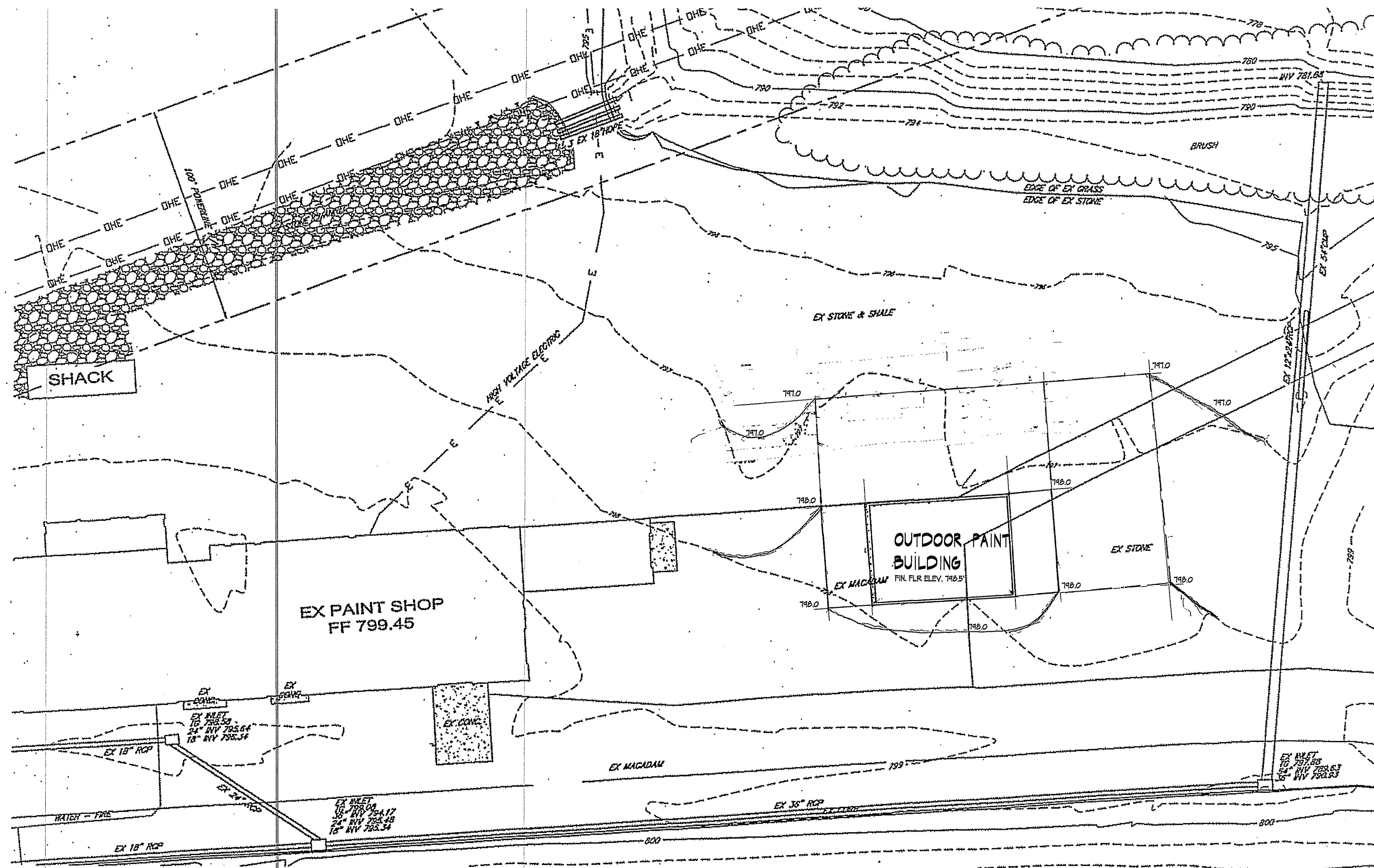
11. EGRESS CAPACITY: 230 (TWO EXITS REQUIRED & PROVIDED)

12. ACCESSIBILITY: INTERIOR SIGNAGE, HANDICAP PARKING SPACE & ACCESSIBLE ENTRY

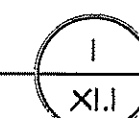
13. AUTOMATIC SMOKE DETECTION SYSTEM: NOT REQUIRED

14. MANUAL FIRE ALARM SYSTEM: NOT REQUIRED

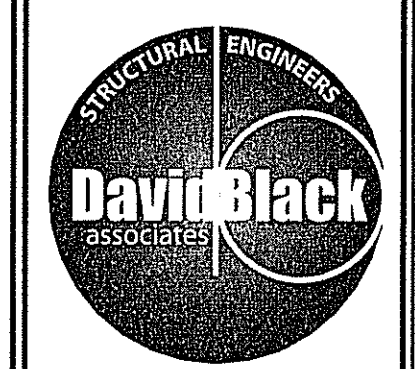
15. DELAYED SUBMISSION: NONE



SITE PLAN  
 SCALE 1" = 30'-0"



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David Black Associates, Inc.  
 David Black Associates Engineers, Inc.  
 501 Lincoln Way East  
 Chambersburg, PA 17201  
 (717) 267-0202  
 (717) 267-0646 Fax  
 info@dba-ae.com

PAINT SHOP ALTERATIONS &  
 OUTDOOR PAINT BUILDING  
 GROVE USA, LLC  
 SHADY GROVE, PENNSYLVANIA

REVISION DATE

JULY 14, 2024

ISSUE DATE

JULY 9, 2024

DRAWING TITLE

LOCATION & SITE PLANS +  
 CODE COMPLIANCE DATA

PROJECT NO.

24044

SHEET NUMBER

X1.1